

**MOORE COUNTY PLANNING BOARD**  
**THURSDAY, July 5, 2018, 6:00 PM**  
**MOORE COUNTY HISTORIC COURTHOUSE – 2<sup>nd</sup> Floor**

**CALL TO ORDER – 6 PM**

**INVOCATION – (Member Volunteer)**

**PLEDGE OF ALLEGIENCE – (Member Volunteer)**

**MISSION STATEMENT – (Member Volunteer)**

**I. PUBLIC COMMENT PERIOD** *(Procedures are attached)*  
**Please sign up on the Public Comment Sign In sheet near the door**

**II. APPROVAL OF CONSENT AGENDA**

All items listed below are considered routine and will be enacted by one motion. No separate discussion will be held except by a member of the Planning Board:

- A. Approval of Meeting Agenda
- B. Elect Vice-Chair
- C. Approval of Minutes of June 7, 2018
- D. Consideration of Abstentions

**III. PUBLIC HEARINGS**

**1. Special Non-Residential Intensity Allocation (SNIA): Longleaf Pines Storage LLC-Darya Cowick**

Longleaf Pines Storage, LLC is seeking a Special Non-Residential Intensity Allocation (SNIA) to increase the maximum built-upon area 10 501.1% on a property located at 6500 NC Hwy, West End, NC owned by Robert High Development, LLC to construct a Mini-Warehouse.

**IV. OTHER**

- 1. Update on Major Subdivisions discussion - Debra Ensminger

**V. PLANNING DEPARTMENT REPORTS - Debra Ensminger**

**VI. BOARD COMMENT PERIOD - Chairman Nobles**

**VII. UPCOMING EVENTS**

- Tuesday, July 17, 2018 3:00 PM Subdivision Review Board Meeting to be held at the Moore County Public Works Conference room
- Tuesday, July 17, 2018 5:30 PM Board of Commissioners Meeting to be held at the Historic Courthouse in Carthage
- **Thursday, August 2, 2018 6:00 PM Planning Board Meeting to be held at the Historic Courthouse in Carthage**

**VIII ADJOURNMENT**

*Special accommodations for individuals with disabilities or impairments will be made upon request to the extent that reasonable notice is **give** to the County.*

*Please see attached procedures for the Public Comment Period and public comment during Public Hearing*

**PUBLIC COMMENT PROCEDURES  
MOORE COUNTY PLANNING BOARD**

*The Moore County Planning Board is committed to allowing members of the public an opportunity to offer comments and suggestions for the efficient and effective administration of government. In addition to public hearings, a special time is set aside for the purpose of receiving such comments and suggestions. All comments and suggestions addressed to the Board during the Public Comment Period shall be subject to the following procedures:*

- 1. The Public Comment period will be held at the beginning of the Board meeting. The comment period will be limited to a maximum of thirty minutes*
- 2. Persons who wish to address the Board during the Public Comment Period will register on a sign-up sheet available on the table outside the entrance door to the Meeting Room indicating contact information and topic. Sign-up sheets will be available beginning 30 minutes before the start of the meeting. No one will be allowed to have his/her name placed on the list by telephone request to County Staff.*
- 3. Each person signed up to speak will have three (3) minutes to make his/her remarks. Each person signed up to speak will only be entitled to the time allotted to each speaker and one additional time period which may be yielded to him/her by another individual who has also signed up to speak on a particular topic.*
- 4. Speakers will be acknowledged by the Board Chairperson in the order in which their names appear on the sign up sheet. Speakers will address the Board from the lectern at the front of the room and begin their remarks by stating their name and address.*
- 5. Public comment is not intended to require the Board to answer any impromptu questions. Speakers will address all comments to the Board as a whole and not one individual member. Discussions between speakers and members of the audience will not be allowed.*
- 6. Speakers will be courteous in their language and presentation. Matters or comments which are harmful, discriminatory or embarrassing to any citizens, official or employee of Moore County shall not be allowed. Speaker must be respectful and courteous in their remarks and must refrain from personal attacks and the use of profanity.*
- 7. Only one speaker will be acknowledged at a time. If the time period runs out before all persons who have signed up get to speak, those names will be carried over to the next Public Comment Period.*
- 8. Any applause will be held until the end of the Public Comment Period.*
- 9. Speakers who have prepared written remarks or supporting documents are encouraged to leave a copy of such remarks and documents with the Chairperson.*
- 10. Information sheets outlining the process for the public's participation in Board meetings will also be available in the rear of the Meeting Room.*
- 11. Action on items brought up during the Public Comment Period will be at the discretion of the Board.*

*Adopted on the 4<sup>th</sup> day of February, 2010 by a 8 to 1 vote of the Moore County Planning Board.*

## **MOORE COUNTY PLANNING BOARD PUBLIC HEARINGS PROCEDURES**

*The Moore County Planning Board serves the public as well as the Board of Commissioners. During each public hearing a special time has been set aside for the purpose of receiving comments and suggestions. To insure that comments and suggestions are productive and not unnecessarily long, procedural rules for conducting public hearings are necessary. The following procedural rules will be utilized during public hearings of the Moore County Planning Board:*

- 1. Anyone who would like to address the Board during a public hearing should register on the appropriate sign-up sheet indicating their name and address. Sign-up sheets will be available on the table outside the entrance door to the Meeting Room 30 minutes before the start of the meeting. Information sheets outlining the process for the public's participation in Board meetings and public hearings will also be available. No one will be allowed to have his/her name placed on the list by telephone request to County Staff.*
- 2. Each speaker will be called by the Chairman to the lectern, will state their name and address clearly into the record before providing their comments.*
- 3. Speakers will address all comments to the Board as a whole and not to any one individual member. Speakers will be respectful, courteous, refrain from personal attacks and the use of profanity.*
- 4. Any applause will be held until the end of the public hearing.*
- 5. Speakers who have prepared written remarks or supporting documents are encouraged to leave a copy of such remarks and documents with the Secretary.*
- 6. Action on items brought up during the public hearing will be at the discretion of the Board.*

*Adopted on the 5<sup>th</sup> day of May, 2011 by a 9 to 0 vote of the Moore County Planning Board*

**MINUTES**  
**MOORE COUNTY PLANNING BOARD**  
**THURSDAY, JUNE 7, 2018 6:00 PM**  
**MOORE COUNTY HISTORIC COURTHOUSE – 2<sup>nd</sup> FLOOR**

**Board Members Present:** Eddie Nobles (Chairman), Joe Garrison (Vice Chair), Harry Huberth, David Lambert, John Cook, Jeffery Gilbert, Bobby Hyman, Matthew Bradley, John Matthews

**Board Members Absent:** None

**Staff Present:** Debra Ensminger, Planning Director  
Tron Ross, County Attorney  
Theresa Thompson, Senior Planner  
Darya Cowick, Planner  
Stephanie Cormack, Administrative Officer

**CALL TO ORDER**

Chairman Eddie Nobles called the meeting to order at 6:00 pm.

**INVOCATION**

Board Member John Cook offered the invocation.

**PLEDGE OF ALLEGIANCE**

Board Member Harry Huberth led in citing of the Pledge of Allegiance.

**MISSION STATEMENT**

Board Member Matthew Bradley read the Moore County Mission Statement.

**PUBLIC COMMENT PERIOD**

There was no public comment.

**APPROVAL OF THE CONSENT AGENDA**

- A. Approval of Meeting Agenda
- B. Approval of Minutes of April 5<sup>th</sup>, 2018
- C. Consideration of Abstentions

Board Member Joe Garrison made a motion to approve the consent agenda. The motion was seconded by Board Member John Cook and the motion passed unanimously (9-0).



## **PUBLIC HEARING**

### **Public Hearing #1 – General Use Rezoning Request: Highway Commercial (B-2) to Residential Agricultural-40 (RA-40)**

Planner Darya Cowick presented to the Board a request from Leasa Haselden to request a General Use Rezoning from Highway Commercial (B-2) to Residential Agricultural-40 (RA-40) of the northern portion, being approximately 5 acres, of three parcels, being approximately a total of 18.97 acres, located adjacent to US 1 Hwy, owned by Duncan C. Blue Jr. Heirs. Mrs. Cowick provided the Board with the property background, zoning district compatibility as well as the properties consistency with the 2013 Moore County Land Use Plan as noted within the packet.

Moore County staff recommends the Board make two separate motions: Motion 1 to adopt or deny one of the Land Use Plan Consistency Statements and authorize its Chairman to execute the document as required by North Carolina General Statute 153A-341. Motion 2 to recommend approval or denial to the Moore County Board of Commissioners the General Use Rezoning from Commercial (B-2) of the northern portions, being approximately 5 acres, of three parcels, being approximately a total of 18.97 acres, located along US 1 Hwy, to result in the entire three parcels being zoned Residential Agricultural-40 (RA-40).

Board Chair Eddie Nobles opened the Public Hearing calling upon David Salmon whom has signed up to speak at the Public Hearing.

Mr. Salmon asked if the property was going to be used as a single family dwelling. Leasa Haselden approached the podium with US1 Reality in Southern Pines introducing herself as a representative for the heirs of Duncan Blue. Ms. Haselden explained she has listed the property for sale and noticed the property has multiple zoning designations. The current owners would like to sale the property as residential property and feel it would be best to recommend the entire property have one zoning that being RA-40. Ms. Haselden currently has a buyer for the property whom plans to use the property as residential property for own personal use.

Mr. Salmon asked if in the future can there be multiple families on the property or if will stay a single family as he does not want lots of houses on that property like a multi-family dwellings or multiple apartments or low income houses. Ms. Cowick explained with the RA-40 zoning a future major subdivision would be allowed, if they decide to go with a multi-family route that would require a rezoning and would go before the Planning Board.

Mr. Salmon expressed concerns about Branch Trail Rd that he and Gene who lived there had a verbal agreement of ownership and if the road would be moved in the future. Board Member Lambert indicated this was not a question for the Board to discuss as this would be a legal question. Board Member Matthews recommend this could be answered with a survey showing the easement. Mr. Salmon explained there was no easement in place as it

was only a verbal agreement because of past safety concerns. Chairman Nobles explained the zoning would not have anything to do with the road or past verbal agreement.

With no further questions or concerns from Mr. Salmon the Board Chair called upon Elizabeth Garnett to speak. Ms. Garnett is an adjoining property owner on Causey Rd and would like to see the property rezoned to Rural Equestrian (RE) as she is concerned about future traffic with an RA-40 zoning.

Chairman Nobles closed the public hearing for Board discussion.

With no further discussion Board Member Joe Garrison made a motion to adopt the attached Moore County Planning Board Land Use Plan Consistency Statement and authorize its Chairman to execute the document as required by North Carolina general Statute 153A-341. The motion was seconded by Board Member John Matthews; the motion passed unanimously 9-0.

Board Member Joe Garrison made a motion to recommend approval to the Moore County Board of Commissioners of the General Use Rezoning from Highway Commercial (B-2) of the northern portion, being approximately 5 acres, of three parcels, being approximately a total of 18.97 acres, located along US 1 Hwy, to result in the entire three parcels being zoned Residential Agricultural-40 (RA-40). The motion was seconded by Board Member John Cook; the motion passed unanimously 9-0.

**Public Hearing #2** –Conditional Use Permit Request: Bed & Breakfast (1351 Dowd Rd., Carthage)

Senior Planner Theresa Thompson presented to the Board a request for a Conditional Use Permit for the use of a 4-unit Bed & Breakfast in a single family residence located at 1351 Dowd Rd. Carthage, owned by Lynn Gallup per Deed Book 4637, Page 290. All adjacent properties are zoned Rural Agriculture (RA). The proposed Bed & Breakfast will have three (3) bedrooms on the second floor of the home with the forth (4<sup>th</sup>) bedroom located above the garage. The County Fire Marshal, Building Inspectors and Environmental Health Departments have met with the applicant to discuss what is required to obtain the necessary permits. The existing site and building is in compliance with the Unified Development Ordinance (UDO) standards. The UDO requires the four finds of factors are met and any recommendation of denial would need to include which finding is not met.

Board Chair Eddie Nobles opened the Public Hearing calling upon Peter Strickland whom has signed up to speak at the Public Hearing. Mr. Strickland approached the podium identifying himself as an adjoining property owner and has concerns about increased traffic and understands this is will be a Bed & Breakfast Home and not a Bed & Breakfast Inn. Mr. Strickland has spoken to Ms. Gallup inquiring about how she plans to advertise her business which will be through websites and social media. Mr. Strickland mentioned he has been on Ms. Gallup website which shows advertising for special events which he feels would increase traffic.

Board member Gilbert requested clarification between a Bed & Breakfast Home vs. a Bed & Breakfast Inn. Ms. Thompson explained a Bed & Breakfast Home would require the homeowner to live in the home while customers stay in the home. Ms. Gallup explained the definition of a Bed & Breakfast Home is 5 or less rooms for customers to stay and food would only be served to those whom stay overnight. Ms. Thompson clarified the UDO definition is eight (8) rooms or less.

Chairman Nobles asked how many parking spaces are currently available. Ms. Gallup said she has a three and half (3 ½) garage and 2 additional spaces for the house, there is a roundabout to the home for customer drop off.

Board Member Bradley inquired about Ms. Gallup's website for weddings. Ms. Gallup said her website has not been updated and at this time is not planning for weddings and is focusing on getting the Bed & Breakfast up and running.

Board Member Bradley asked if she plans to have this as an option in the future. Ms. Gallup said her septic would need to be addressed for this to be an option in the future.

Board Member Matthews asked how Planning would handle this kind of event. Ms. Thompson said it could fall under a special events permit depending on the type of event.

Chairman Nobles closed the public hearing for Board discussion.

With no further discussion Board Member Joe Garrison made a motion to recommend approval to the Moore County Board of Commissioner of the Conditional Use Permit request for the use of a 4-unit Bed & Breakfast in a single family residence located at 1351 Dowd Rd. Carthage, owned by Lynn Gallup per Dee Book 4637, Page 290. The motion was seconded by Board Member John Cook; the motion passed unanimously 9-0.

**Public Hearing #3-Moore County staff is requesting amendments to the Moore County Unified Development Ordinance.**

- Amend Chapter 6.1 Table of Uses
- Amend Chapter 8 Specific Use Standards; Section 8.69 Religious Institutions

Senior Planner Theresa Thompson presented three (3) options for the Board to consider schools to be an accessory uses to churches as noted within the packet. Ms. Thompson explained all options to the Board and their meanings. Under option 1 means every new church would require a conditional use permit approval and every new accessory use to a church would require a conditional use permit approval. Under option 2 this would allow all new churches to be permitted and only new accessory uses to a church would require a conditional use permit approval. Option 3 would allow the use of schools as an accessory use and require a conditional use permit for schools located on the same lot as the church.

Board Member Garrison would like to know the history as to why the need for a change. Planning Director Debra Enslinger explained the request is at the request of the Board of Commissioners and surrounding homeowners in regards to a previous request brought before the Planning Board for a school to be allowed within a church.

Board Member Garrison asked which option would be the best option. Mrs. Thompson explained staff recommends the Board to approve option 3 as this would be the better option and less hardship on any future applicants.

Chairman Nobles closed the public hearing for Board discussion. With no further discussion Joe Garrison made a motion to adopt the Moore County Planning Board Land Use Plan Consistency Statement for approval and authorize its Chairman to execute the document as required by North Carolina General Statute 153A-341. The motion was seconded by Board Member David Lambert; the motion passed unanimously 9-0.

Board Member Joe Garrison made a motion to recommend approval to the Moore County Board of Commissioners of the proposed text amendment to the Moore County Unified Development Ordinance. The motion was seconded by Board Member David Lambert; the motion passed unanimously 9-0.

## **OTHER BOARD MATTERS**

Major Subdivision discussion was presented by Ms. Enslinger seeking guidance from the board per the recommendation of the Board of Commissioner's Chair that major subdivisions go through the Planning Board process and draft a text amendment as well as an amendment to the Table of Uses which would require a conditional use permit for all major subdivision to go before the Planning Board for recommendation with the final decision made by the Board of Commissioners. The reason for the request is to regulate the number of future major subdivisions that are approved in Moore County due to growth and changes within the County. Currently there is an advisory board only for major subdivision approval.

Minor discussion was held amongst the Board and all agreed this would be the best interest of the County to manage controlled growth and to allow public input regarding future growth.

Board Member Garrison made a motion to direct Planning Department staff to provide the Planning Board with options regarding changing how subdivisions are handled in the future to allow all subdivisions to go before the Planning Board and to the Board of Commissioners for final decision. The motion was seconded by Board Member Matthews; the motion passed unanimously 9-0

## **PLANNING DEPARTMENT REPORTS**

No additional updates.

## **BOARD COMMENT PERIOD**

Chairman Nobles thanked staff for making his job easier.

Board Member Gilbert thanked staff for allowing him to attend the past training event.

Board Member Huberth asked if staff could place the packets on the screens for public view as he feels this would help clarify any questions the public may have regarding the agenda items.

## **ADJOURNMENT**

Board Member Joe Garrison made a motion to adjourn the June 7<sup>th</sup>, 2018 regular meeting. The motion was seconded by Board Member John Matthews and the motion passed unanimously 9-0.

Respectfully submitted by,

Stephanie Cormack

**MEMORANDUM TO THE WATERSHED REVIEW BOARD**

**FROM:** Debra Ensminger  
Planning & Transportation Services Director

**DATE:** June 7, 2018

**SUBJECT:** Special Non-residential Intensity Allocation (SNIA) Request  
("Longleaf Pines Storage, LLC" – 6510 NC 211 Hwy)

**PRESENTER:** Theresa Thompson

**REQUEST**

Longleaf Pines Storage, LLC is seeking a Special Non-residential Intensity Allocation (SNIA) to increase the maximum built-upon area to 50.1 % on a property located at 6500 NC 211 Hwy, West End, NC, owned by Robert High Development, LLC, to construct a Mini-Warehouse.

**BACKGROUND**

- The property is located within the WS-II-BW Drowning Creek Watershed which limits non-residential development to 12% built-upon area except approval of a SNIA authorizes up to 70% built-upon area.
- The subject property is currently undeveloped.
- The proposed acreage is 6.82 acres.
- The applicant is requesting to increase the total built-upon area to 3.41 acres or 50.1 % of the project site.
- Four (4) SNIA's have been issued in the Drowning Creek Watershed for a total of 8.405 acres leaving a balance of 2,205.59 acres for future allocation.
- Approval of this SNIA request will increase the total project acreage by 6.82 acres leaving 2,205.59 acres for future allocation.

**UDO REQUIREMENTS MET**

- The applicant has submitted a site plan that proposes engineered methods to minimize water quality impacts and incorporating Best Management Practices.
- The property is zoned Highway Commercial (B-2) and allows for the proposed use of Mini-Warehouse.
- The submitted application and site plan meets all required standards and conditions set forth in the Moore County Unified Development Ordinance.

### **STAFF RECOMMENDATION**

Staff recommends the Moore County Watershed Review Board make the following motion:

**Motion #1:** Make a motion to approve the Special Non-residential Intensity Allocation (SNIA) to increase the maximum built-upon area to 50.1 % on a property located at 6500 NC Hwy 211, West End owned by Robert High Development, LLC.

### **ATTACHMENTS**

Pictures of Property

Land Use Map

SNIA Application

Submitted Engineer Letter

Submitted Site Plan

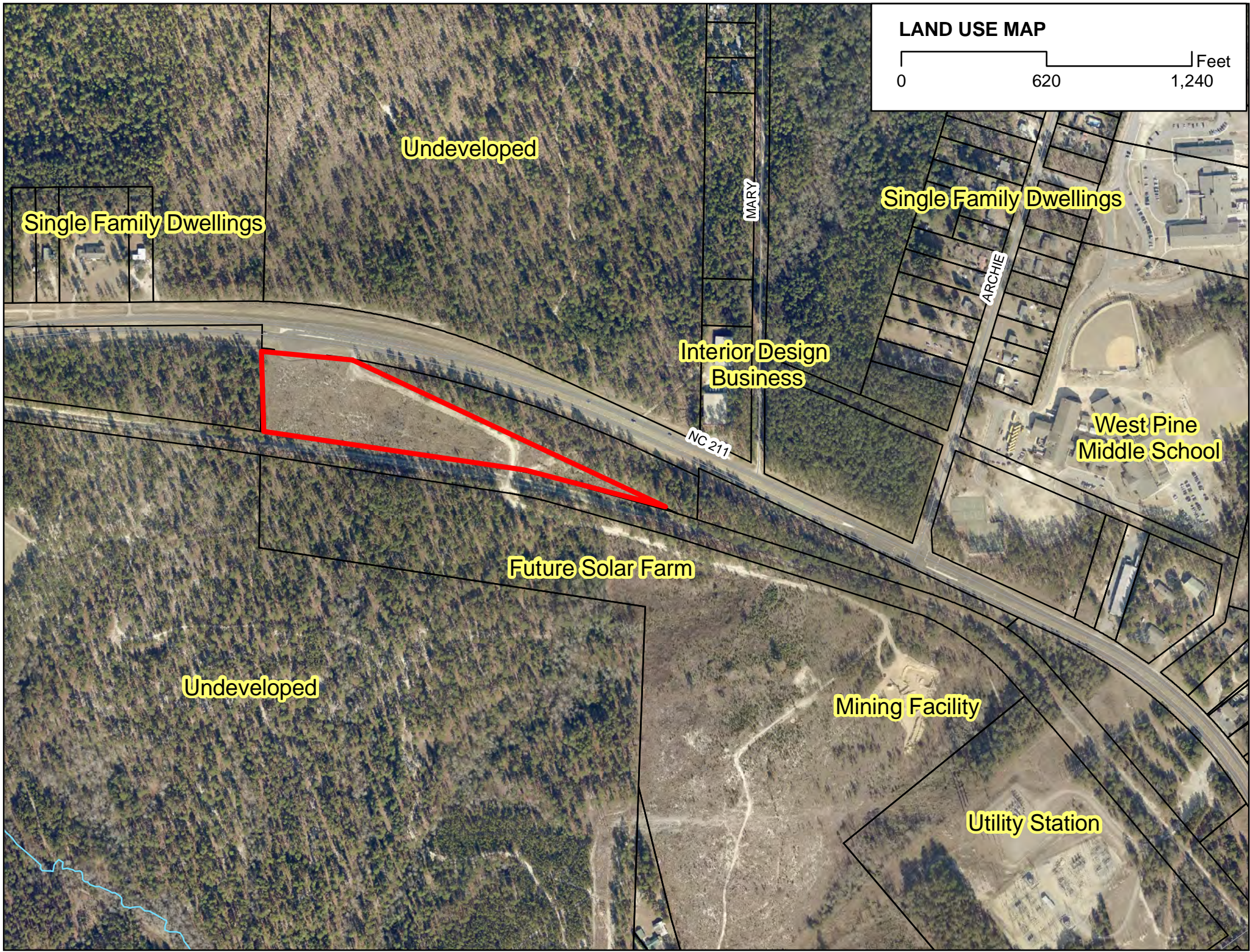
Plat Cabinet 16, Slide 126

Deed Book 4931, Page 433

**Views of property from NC Hwy 211**







LAND USE MAP

0 620 1,240 Feet

Single Family Dwellings

Undeveloped

Single Family Dwellings

Interior Design  
Business

NC 211

West Pine  
Middle School

Future Solar Farm

Undeveloped

Mining Facility

Utility Station



# County of Moore Planning and Transportation



Inspections/Permitting: (910) 947-2221  
Planning: (910) 947-5010  
Transportation: (910) 947-3389

## Special Non-Residential Intensity Allocation (SNIA) Application

Application Date: 5/10/18

Location/Address of Property: 6510 NC HWY 211 West End, NC 27376

Applicant: Robert High Development, LLC

Phone: 910-790-9490

Applicant Address: 223 Greenville Ave

City: Wilmington

St: NC Zip: 28403

Owner: Longleaf Pines Storage, LLC

Phone: 910-790-9490

Owner Address: 223 Greenville Ave

City: Wilmington

St: NC Zip: 28403

Proposed Use on the Property: Self-Storage

Existing Impervious Surface Pre-January 1, 1994:  
(Square Feet)

NA

Existing Impervious Surface Post-January 1, 1994:  
(Square Feet)

NA

Proposed Impervious Surface (Square Feet):

Total Proposed Impervious Surface (Square Feet):

3.41 acres - 50.1%

Total Project Acreage:

6.82 acres

Comments:

I (We), the undersigned, certify that all statements furnished in this application are true to the best of my (our) knowledge, and do hereby agree to follow all reasonable requests for information as designated by the County of Moore Zoning Administrator.

Owner Signature

*[Signature]*

Date

5/10/18

Owner Signature

Date

Office Use Only:

LRK: 00022606

Zoning District: B-2

Received By:

Darya Cowick

Date:

5-23-18



*Neal Smith Engineering, Inc.*

*139 Pinehurst Avenue - Suite C  
Southern Pines, NC 28387  
Phone: (910) 695-8825  
Fax: (910) 695-8832  
www.nseengineering.com  
License No. C-1425*



May 18, 2018

Moore County  
Planning Department  
c/o Theresa Thompson, Planning Department  
1048 Carriage Oaks Drive  
Carthage, NC 28327

Re: 211 Mini-Warehouse (Longleaf Pines Storage, LLC)  
— NSE Job #1700599A

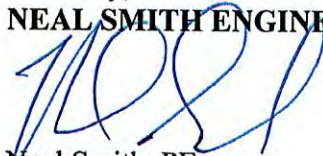
The site plan provides the minimum built-upon surface necessary for safe ingress and egress onto and through the site.

There will be no stormwater runoff directed towards surface waters.

The site will incorporate a stormwater wet pond which is an NCDEQ approved Best Management Practice to minimize water quality impacts.

The property has been subdivided and is uniformly zoned.

Sincerely,  
NEAL SMITH ENGINEERING, INC.

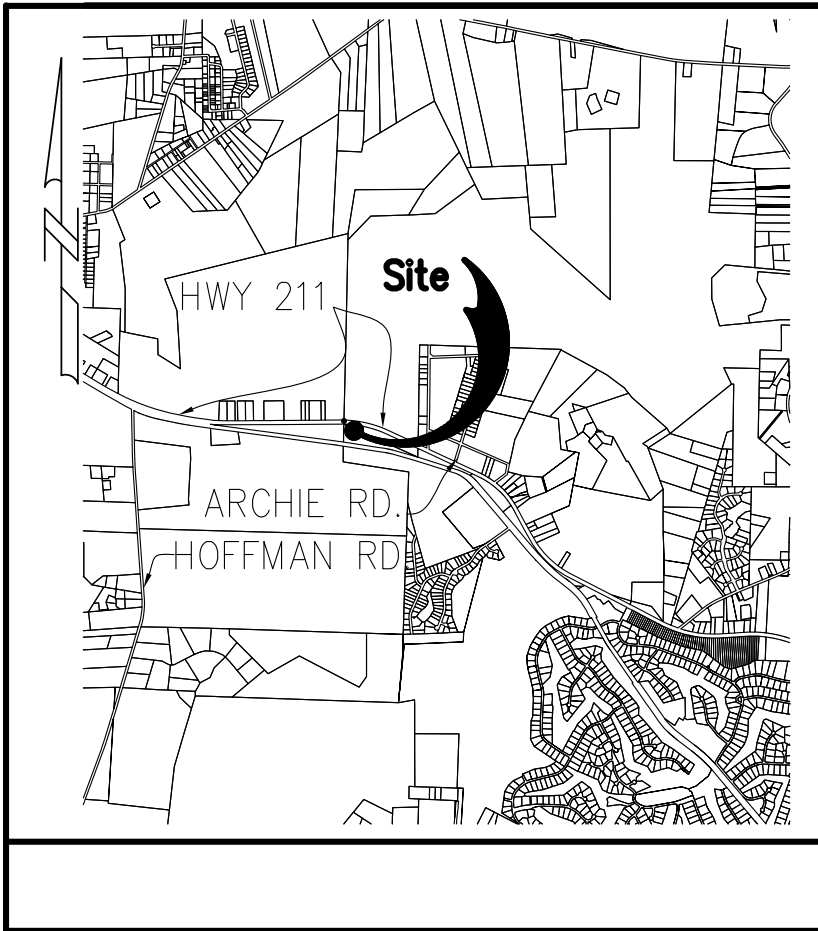
  
Neal Smith, PE  
President



PINEHURST SELF STORAGE

WEST END, NORTH CAROLINA

MAP — N.T.S.



SITE DATA

SITE DATA	
SITE JURISDICTION:	MOORE COUNTY
ADDRESS:	6500 NC HWY 211 WEST END, NC 854300052794
PARCEL ID/PIN:	854300052794
DEED BOOK & PAGE:	BOOK 4931, PAGE 433
CURRENT ZONING:	B-2
SETBACKS:	
B-2 ZONING	
FRONT:	50'
SIDE:	0'
REAR:	25'
RURAL HIGHWAY CORRIDOR OVERLAY:	
FRONT BUILDING FROM HIGHWAY	75'
FRONT PARKING FROM HIGHWAY	50'
FROM RESIDENTIAL	50'
FROM NON-RESIDENTIAL	25'
TOTAL ACREAGE	6.82 ACRES
RIVER BASIN	LUMBER
WATER SUPPLY WATERSHED:	WS-II-BW(HQW)
EXISTING IMPERVIOUS AREA:	0%(PRE-1994 AND POST 01-01-1994)
PROPOSED IMPERVIOUS AREA:	3.416 ACRES(50.1%)
DISTURBED AREA:	4.67 ACRES
PROPOSED BUILDING HEIGHT:	25'-2"

PARKING DATA	
MINI-WAREHOUSE:	
REQUIREMENT:	1 SPACE PER 300SF(OFFICE)
SPACES REQUIRED:	3
SPACES PROVIDED:	7

OWNER

LONGLEAF PINES STORAGE, LLC  
PO BOX 1028  
PINEHURST, NC 28370

SITE DEVELOPMENT PLANS

For

ROBERT HIGH DEVELOPMENT, LLC

223 GREENVILLE AVENUE

WILMINGTON, NC 28403

GENERAL NOTES

THIS MAP IS NOT IN ACCORDANCE WITH GS 47-30.

AREA BY COORDINATE METHOD.

PROPERTY DOES NOT LIE IN A DESIGNATED FEMA FLOOD HAZARD ZONE.

CONTOUR INTERVAL 1'

TOPOGRAPHICAL AND BOUNDARY INFORMATION PROVIDED BY:  
STEPHEN R. SHEFFIELD AND ASSOCIATES, PA ABERDEEN NC

THE ENGINEER SHALL NOT BE RESPONSIBLE FOR SITE CHANGES TO THE APPROVED PLANS. ANY VARIATION TO THE APPROVED PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR EVALUATION OF THE SITE CONDITIONS AND RESUBMITTED FOR APPROVAL.

CONTRACTOR TO VERIFY EXACT LOCATION AND SIZE OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL APPLICABLE PERMITS PRIOR TO ANY CONSTRUCTION ACTIVITIES.

THE CONTRACTOR SHALL CONTACT THE OWNER AND ENGINEER FOR A REVIEW SHOULD ANY DISCREPANCIES BE DISCOVERED AT THE SITE OR ON THE DRAWINGS.

UTILITY LOCATIONS SHOWN ARE FOR GENERAL LOCATION PURPOSES AND COORDINATION ONLY. THESE LOCATIONS ARE NOT THE RESPONSIBILITY OF NEAL SMITH ENGINEERING, INC.

EXISTING ELEVATIONS ARE TO BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR EVALUATION.

CONTRACTOR TO VERIFY BUILDING DIMENSIONS FROM THE APPROVED BUILDING CONSTRUCTION DRAWINGS.

UTILITY NOTES

1. THE CONTRACTOR SHALL CONTACT THE ENGINEER AT LEAST THREE (3) DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL CONTACT THE OWNER AND ENGINEER FOR A REVIEW SHOULD ANY DISCREPANCIES BE DISCOVERED AT THE SITE OR ON THE DRAWINGS.
2. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR SITE CHANGES TO THE APPROVED SITE LAYOUT PLAN. ANY VARIATION TO THE APPROVED PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR EVALUATION OF THE SITE CONDITIONS AND RESUBMITTED FOR APPROVAL.
3. PIPE SEPARATION: THE FOLLOWING MINIMUM PIPE SEPARATION WILL BE MAINTAINED: 18 INCHES VERTICAL SEPARATION BETWEEN CROSSING OF STORM SEWERS. 18 INCHES VERTICAL SEPARATION BETWEEN CROSSING OF SEWER (INCLUDING FORCE MAINS) AND WATER MAINS. 24 INCHES VERTICAL SEPARATION BETWEEN SANITARY SEWER AND STORM SEWER, AND 10 FEET HORIZONTAL SEPARATION BETWEEN SANITARY SEWER (INCLUDING FORCE MAINS) AND WATER MAINS.  
  
\* (IF IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS DESCRIBED ABOVE OR ANY TIME THE SEWER IS OVER A WATER MAIN, BOTH LINES SHALL BE OF FERROUS MATERIALS AND PLACED A MINIMUM OF 10' ON EACH SIDE OF THE CROSSING.)
4. THE CONTRACTOR SHALL CONTACT THE POWER CO., GAS CO., AND TELEPHONE CO. FOR THE EXACT LOCATION OF ALL UNDERGROUND WATER AND SEWER MAINS, CABLES, OR LINES BEFORE CONSTRUCTION BEGINS.

5. ALL EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE LOCATIONS ONLY, EXACT LOCATION, SIZES, AND MATERIALS ARE TO BE VERIFIED IN THE FIELD BY CONTRACTOR.
6. SITE TO BE GRADED TO APPROXIMATE FINAL GRADES PRIOR TO INSTALLING UTILITIES.
7. ALL NEW UTILITY EASEMENTS SHALL BE CLEARED OF ALL TREES.

DRAWING INDEX

COVER SHEET	COVER
EXISTING CONDITIONS SURVEY	XC-1
SITE LAYOUT PLAN	SP-1
SITE LAYOUT IMPERVIOUS AREA	SP-1.1
GRADING AND DRAINAGE PLAN	C-1
EROSION CONTROL PLAN	EC-1
UTILITY LAYOUT PLAN	CU-1
LANDSCAPING PLAN	LS-1
STORMWATER MANAGEMENT DETAILS	CD-1
EROSION CONTROL DETAILS	CD-2
EROSION CONTROL DETAILS	CD-3
SITE DETAILS	CD-4
SITE DETAILS	CD-5

North Carolina One Call Center: 811 or 800-632-4949

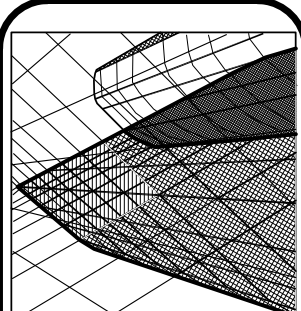
It will be the responsibility of the contractor to contact the North Carolina One Call Center (811 or 800-632-4949) at least 48 hours prior to site excavation, grading, or digging to locate all existing utilities.

PINEHURST SELF STORAGE

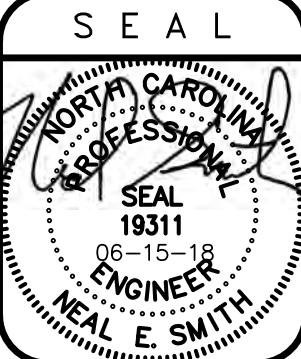
WEST END, NC

COVER

REVISIONS:	BCW
1	08-15-18



Neal Smith Engineering, Inc.  
139 Pinckney Avenue - Suite C  
Southside Plaza, NC 28387  
Phone: (910) 695-8835  
Fax: (910) 695-8832  
www.nseengineering.com  
License No. C-1425

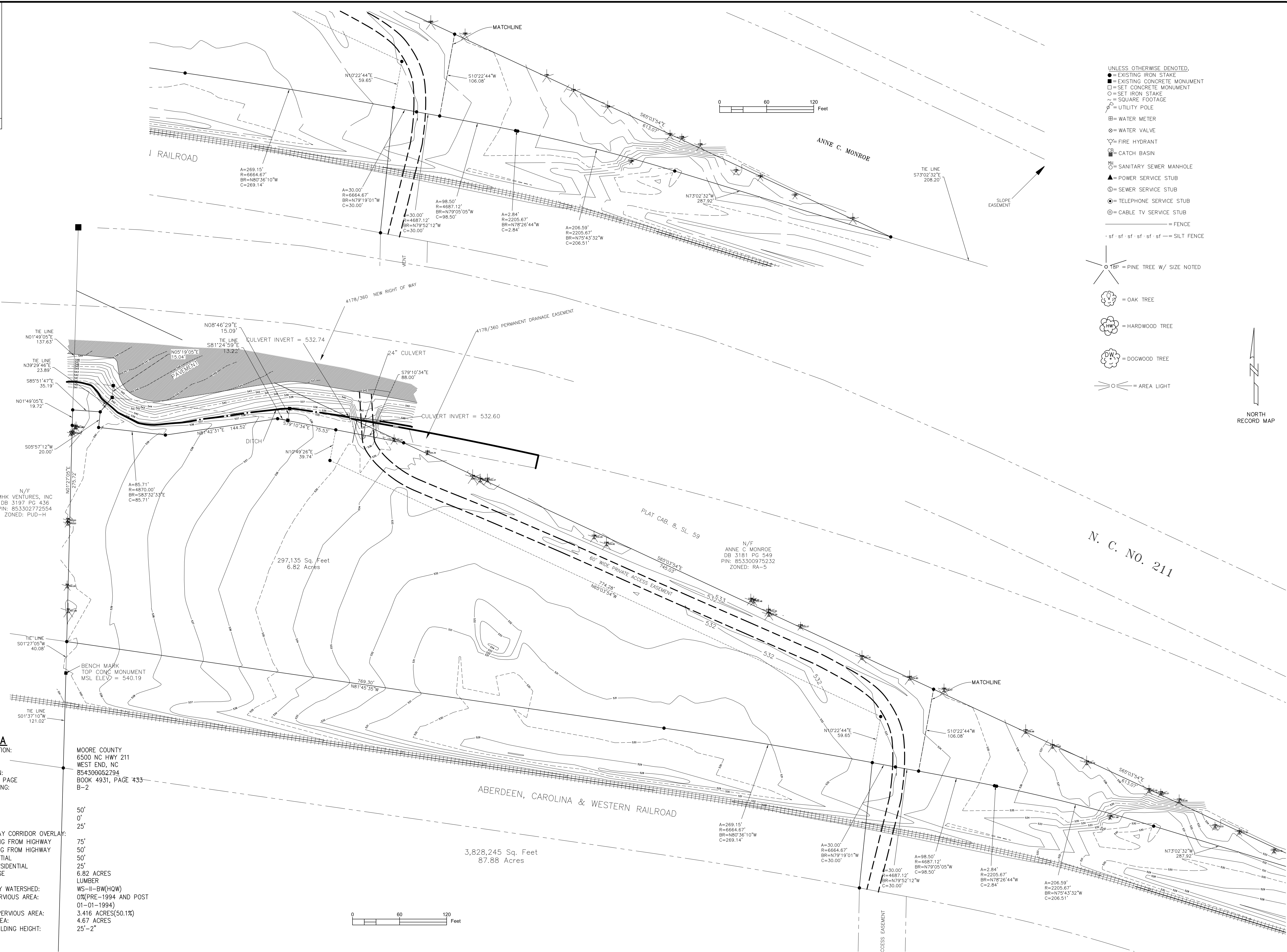
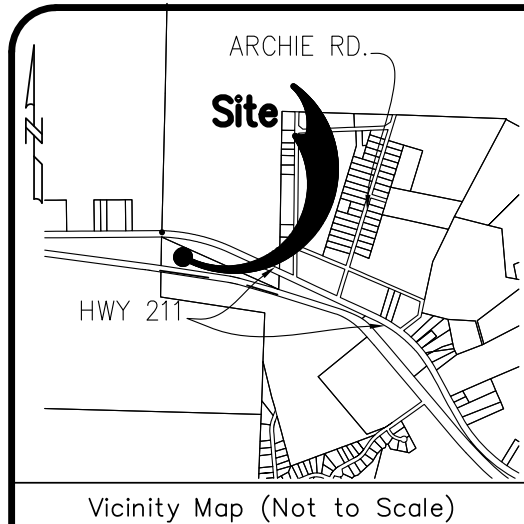


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JOB NUMBER:	1700599A
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#### SITE DATA

SITE JURISDICTION:  
ADDRESS:

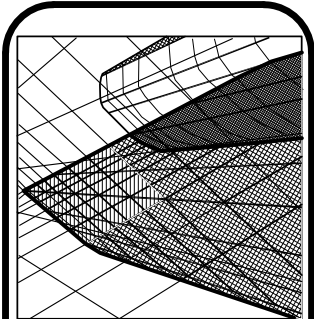
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DEED BOOK & PAGE  
CURRENT ZONING:  
SETBACKS:  
B-2 ZONING

FRONT:  
SIDE:  
REAR:  
RURAL HIGHWAY CORRIDOR OVERLAY:  
FRONT BUILDING FROM HIGHWAY  
FRONT PARKING FROM HIGHWAY  
FROM RESIDENTIAL  
FROM NON-RESIDENTIAL  
TOTAL ACREAGE  
RIVER BASIN  
WATER SUPPLY WATERSHED:  
EXISTING IMPERVIOUS AREA:  
PROPOSED IMPERVIOUS AREA:  
DISTURBED AREA:  
PROPOSED BUILDING HEIGHT:

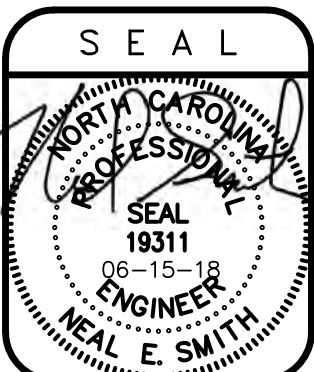
MOORE COUNTY  
6500 NC HWY 211  
WEST END, NC  
854300052794  
BOOK 4931, PAGE 433  
B-2  
50'  
0'  
25'  
75'  
50'  
50'  
25'  
6.82 ACRES  
LUMBER  
WS-II-BW(HQW)  
0%(PRE-1994 AND POST  
01-01-1994)  
3.416 ACRES(50.1%)  
4.67 ACRES  
25'-2"

PINEHURST SELF STORAGE  
WEST END, NC  
EXISTING CONDITIONS SURVEY

REVISIONS:	BCW
1	06-15-18



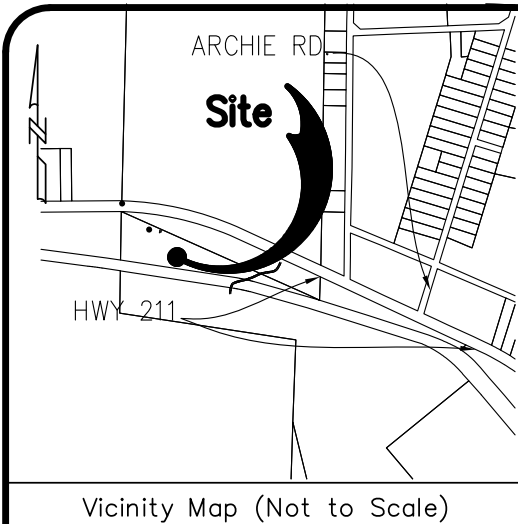
Neal Smith Engineering, Inc.  
139 Pinckney Avenue - Suite C  
Southport, NC 28587  
Phone: (910) 695-8825  
Fax: (910) 695-8832  
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### Legend:

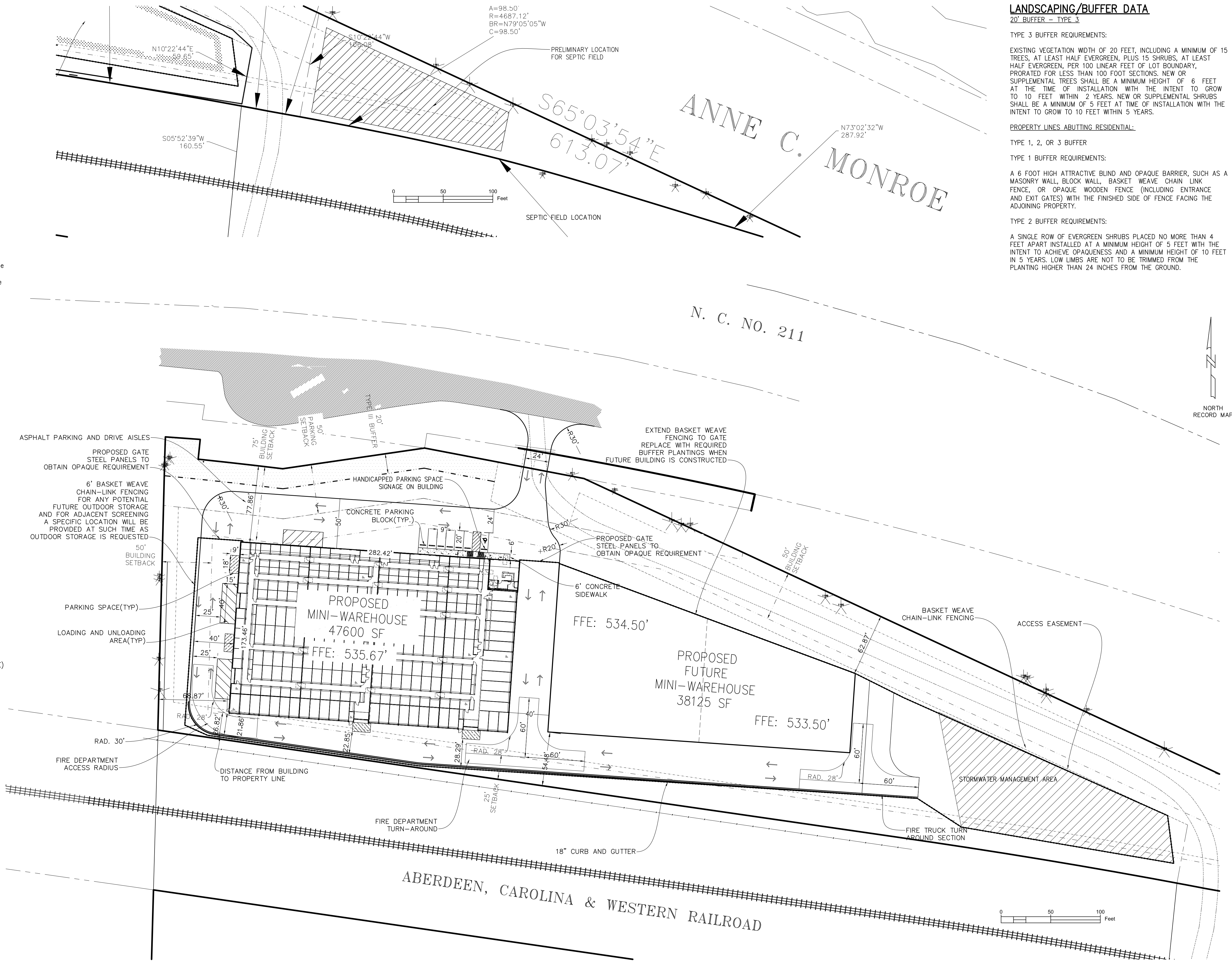
- = Iron Pipe Found
- = Iron Rod Found
- = Concrete Monument Found
- ▲ = PK Nail Found
- ▲ = PK Nail Set
- = Existing Right of Way
- = Proposed Right of Way
- = Boundary Line
- = Adjacent Property Lines not Surveyed
- = Existing Setback Lines
- = Proposed Setback Lines
- = Existing Contour
- = Proposed Contour
- = Approximate Location of Existing Waterline
- = Proposed 6" Waterline
- = Approximate Location of Existing Gas Line
- = Existing Sanitary Sewer Line
- = Proposed 8" Sanitary Sewer Line
- = Existing Easement
- = Proposed Easement
- = Existing Overhead Utility
- = Existing Underground Utility
- = Existing Wetland Limits
- = Existing Fence
- = Proposed Fence
- = Proposed 4" Sewer Service
- = Proposed 2" Water Service
- = Limits of Disturbance
- = Proposed Silt Fence
- = Proposed Temporary Diversion
- = Existing Stream Centerline
- = Existing Soil Road
- = Existing Gravel Road
- = Existing Light Pole
- = Proposed Light Pole
- = Existing Utility Pole
- = Proposed Utility Pole
- = Existing Water Meter
- = Proposed Water Meter
- = Existing Water Valve
- = Proposed Water Valve
- = Existing Fire Hydrant
- = Proposed Fire Hydrant
- = Existing Sanitary Sewer Manhole
- = Proposed Sanitary Sewer Manhole
- = Existing Sewer Clean out
- = Proposed Sewer Clean out
- = Curb Inlet
- = Existing Storm Drain Manhole
- = High Density Polyethylene Pipe
- = Reinforced Concrete Pipe
- = Flared End Section
- = Proposed Spot Elevation
- = 10" Pine (typ.)
- = Existing Tree to be Removed

### PARKING DATA

MINI-WAREHOUSE:	
REQUIREMENT:	1 SPACE PER 300SF(OFFICE)
SPACES REQUIRED:	3
SPACES PROVIDED:	7

### SITE DATA

SITE JURISDICTION:	MOORE COUNTY
ADDRESS:	6500 NC HWY 211
PARCEL ID/PIN:	WEST END, NC
DEED BOOK & PAGE:	854300052794
CURRENT ZONING:	BOOK 4931, PAGE 433
SETBACKS:	B-2
B-2 ZONING	
FRONT:	50'
SIDE:	0'
REAR:	25'
RURAL HIGHWAY CORRIDOR OVERLAY:	
FRONT BUILDING FROM HIGHWAY	75'
FRONT PARKING FROM HIGHWAY	50'
FROM RESIDENTIAL	50'
FROM NON-RESIDENTIAL	25'
TOTAL ACREAGE	6.82 ACRES
RIVER BASIN	LUMBER
WATER SUPPLY WATERSHED:	WS-II-BW(HQW)
EXISTING IMPERVIOUS AREA:	0%(PRE-1994 AND POST 01-01-1994)
PROPOSED IMPERVIOUS AREA:	3.416 ACRES(50.1%)
DISTURBED AREA:	4.67 ACRES
PROPOSED BUILDING HEIGHT:	25'-2"



### LANDSCAPING/BUFFER DATA

20' BUFFER - TYPE 3

TYPE 3 BUFFER REQUIREMENTS:

EXISTING VEGETATION WIDTH OF 20 FEET, INCLUDING A MINIMUM OF 15 TREES, AT LEAST HALF EVERGREEN, PLUS 15 SHRUBS, AT LEAST HALF EVERGREEN, PER 100 LINEAR FEET OF LOT BOUNDARY, PRORATED FOR LESS THAN 100 FOOT SECTIONS. NEW OR SUPPLEMENTAL TREES SHALL BE A MINIMUM HEIGHT OF 6 FEET AT THE TIME OF INSTALLATION WITH THE INTENT TO GROW TO 10 FEET WITHIN 2 YEARS. NEW OR SUPPLEMENTAL SHRUBS SHALL BE A MINIMUM OF 5 FEET AT TIME OF INSTALLATION WITH THE INTENT TO GROW TO 10 FEET WITHIN 5 YEARS.

PROPERTY LINES ABUTTING RESIDENTIAL:

TYPE 1, 2, OR 3 BUFFER

TYPE 1 BUFFER REQUIREMENTS:

A 6 FOOT HIGH ATTRACTIVE BLIND AND OPAQUE BARRIER, SUCH AS A MASONRY WALL, BLOCK WALL, BASKET WEAVE CHAIN LINK FENCE, OR OPAQUE WOODEN FENCE (INCLUDING ENTRANCE AND EXIT GATES) WITH THE FINISHED SIDE OF FENCE FACING THE ADJOINING PROPERTY.

TYPE 2 BUFFER REQUIREMENTS:

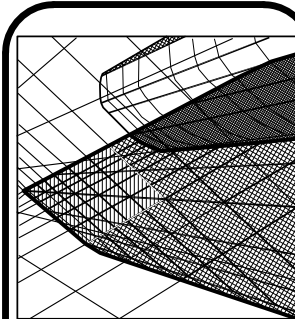
A SINGLE ROW OF EVERGREEN SHRUBS PLACED NO MORE THAN 4 FEET APART INSTALLED AT A MINIMUM HEIGHT OF 5 FEET WITH THE INTENT TO ACHIEVE OPAQUENESS AND A MINIMUM HEIGHT OF 10 FEET IN 5 YEARS. LOW LIMBS ARE NOT TO BE TRIMMED FROM THE PLANTING HIGHER THAN 24 INCHES FROM THE GROUND.

PINEHURST SELF STORAGE

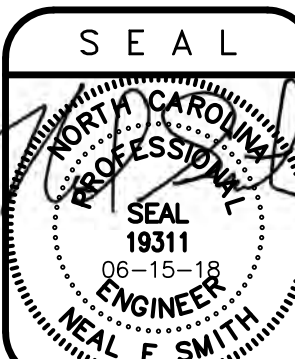
WEST END, NC

SITE LAYOUT PLAN

REVISIONS:	BCW
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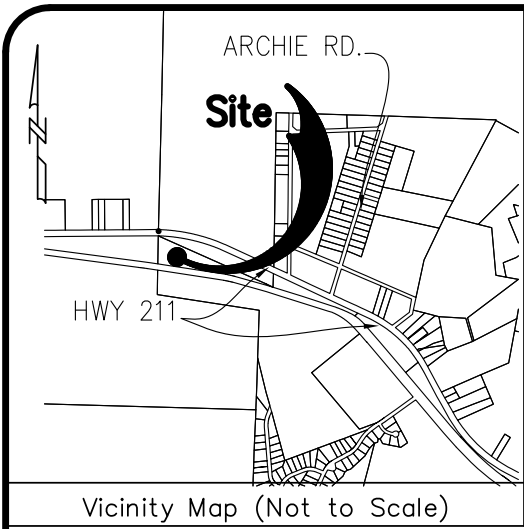


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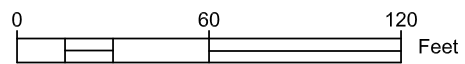
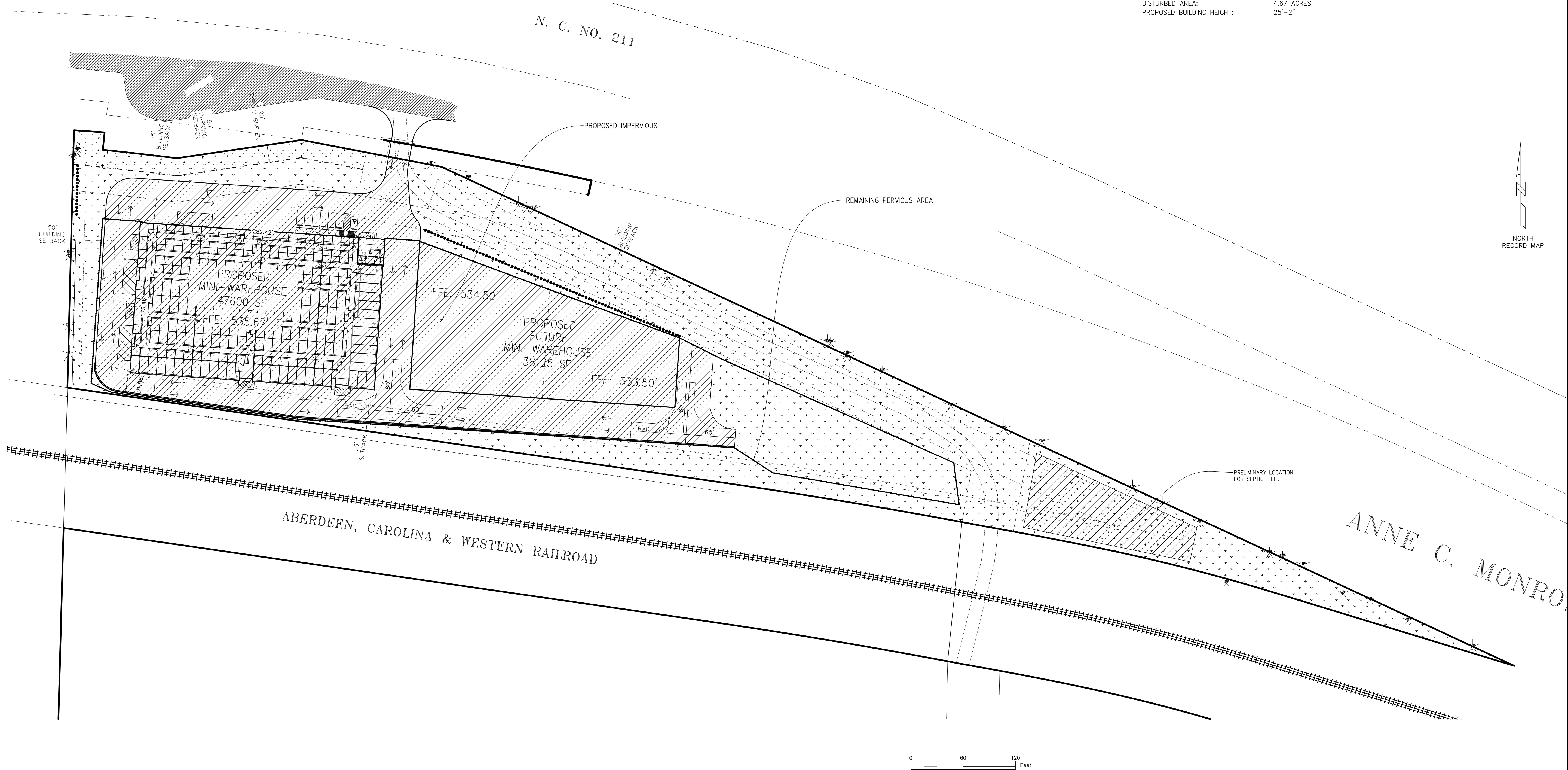


IMPERVIOUS SURFACE CALCULATIONS

PROPOSED IMPERVIOUS: 3.416 ACRES  
TOTAL ACREAGE OF LOT: 6.82 ACRES  
 $3.416/6.82 = 0.50088$   
50.1 % (ROUNDED)

SITE DATA

SITE JURISDICTION: MOORE COUNTY  
ADDRESS: 6500 NC HWY 211  
WEST END, NC  
PARCEL ID/PIN: 854300052794  
DEED BOOK & PAGE: BOOK 4931, PAGE 433  
CURRENT ZONING: B-2  
SETBACKS:  
FRONT: 50'  
SIDE: 0'  
REAR: 25'  
RURAL HIGHWAY CORRIDOR OVERLAY:  
FRONT BUILDING FROM HIGHWAY: 75'  
FRONT PARKING FROM HIGHWAY: 50'  
FROM RESIDENTIAL: 50'  
FROM NON-RESIDENTIAL: 25'  
TOTAL ACREAGE: 6.82 ACRES  
RIVER BASIN: LUMBER  
WATER SUPPLY WATERSHED: WS-II-BW(HQW)  
EXISTING IMPERVIOUS AREA: 0%(PRE-1994 AND POST 01-01-1994)  
PROPOSED IMPERVIOUS AREA: 3.416 ACRES(50.1%)  
DISTURBED AREA: 4.67 ACRES  
PROPOSED BUILDING HEIGHT: 25'-2"

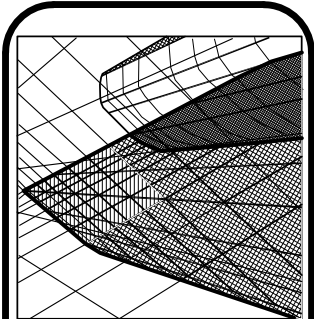


PINEHURST SELF STORAGE

WEST END, NC

SITE LAYOUT IMPERVIOUS AREA

REVISIONS:	REVISIONS:



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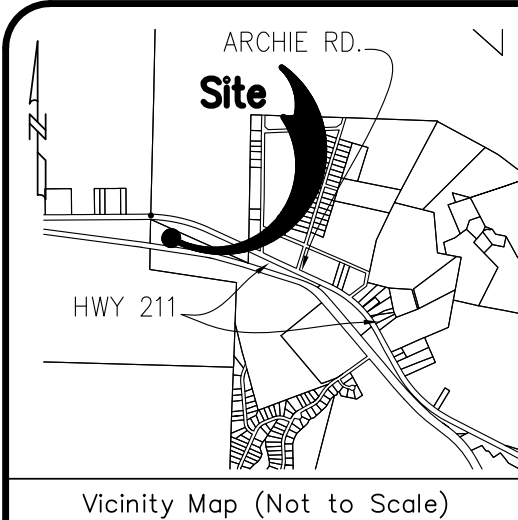
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JOB NUMBER:  
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### Legend:

- = Iron Pipe Found
- = Iron Rod Found
- = Concrete Monument Found
- ▲ = PK Nail Found
- ▲ = PK Nail Set
- = Existing Right of Way
- = Proposed Right of Way
- = Boundary Line
- = Adjacent Property Lines not Surveyed
- = Existing Setback Lines
- = Proposed Setback Lines
- = Existing Contour
- = Proposed Contour
- = Approximate Location of Existing Waterline
- = Proposed 6" Waterline
- = Approximate Location of Existing Gas line
- = Existing Sanitary Sewer Line
- = Proposed 8" Sanitary Sewer Line
- = Existing Easement
- = Proposed Easement
- = Existing Overhead Utility
- = Existing Underground Utility
- = Existing Wetland Limits
- = Existing Fence
- = Proposed Fence
- = Proposed 4" Sewer Service
- = Proposed 2" Water Service
- = Limits of Disturbance
- = Proposed Silt Fence
- = Proposed Temporary Diversion
- = Existing Stream Centerline
- = Existing Soil Road
- = Existing Gravel Road
- = Existing Light Pole
- = Proposed Light Pole
- = Existing Utility Pole
- = Proposed Utility Pole
- = Existing Water Meter
- = Proposed Water Meter
- = Existing Water Valve
- = Proposed Water Valve
- = Existing Fire Hydrant
- = Proposed Fire Hydrant
- = Existing Sanitary Sewer Manhole
- = Proposed Sanitary Sewer Manhole
- = Existing Sewer Clean out
- = Proposed Sewer Clean out
- = Curb Inlet
- = Existing Storm Drain Manhole
- = High Density Polyethylene Pipe
- = Reinforced Concrete Pipe
- = Flared End Section
- = Proposed Spot Elevation
- = 10" Pine (typ.)
- = Existing Tree to be Removed

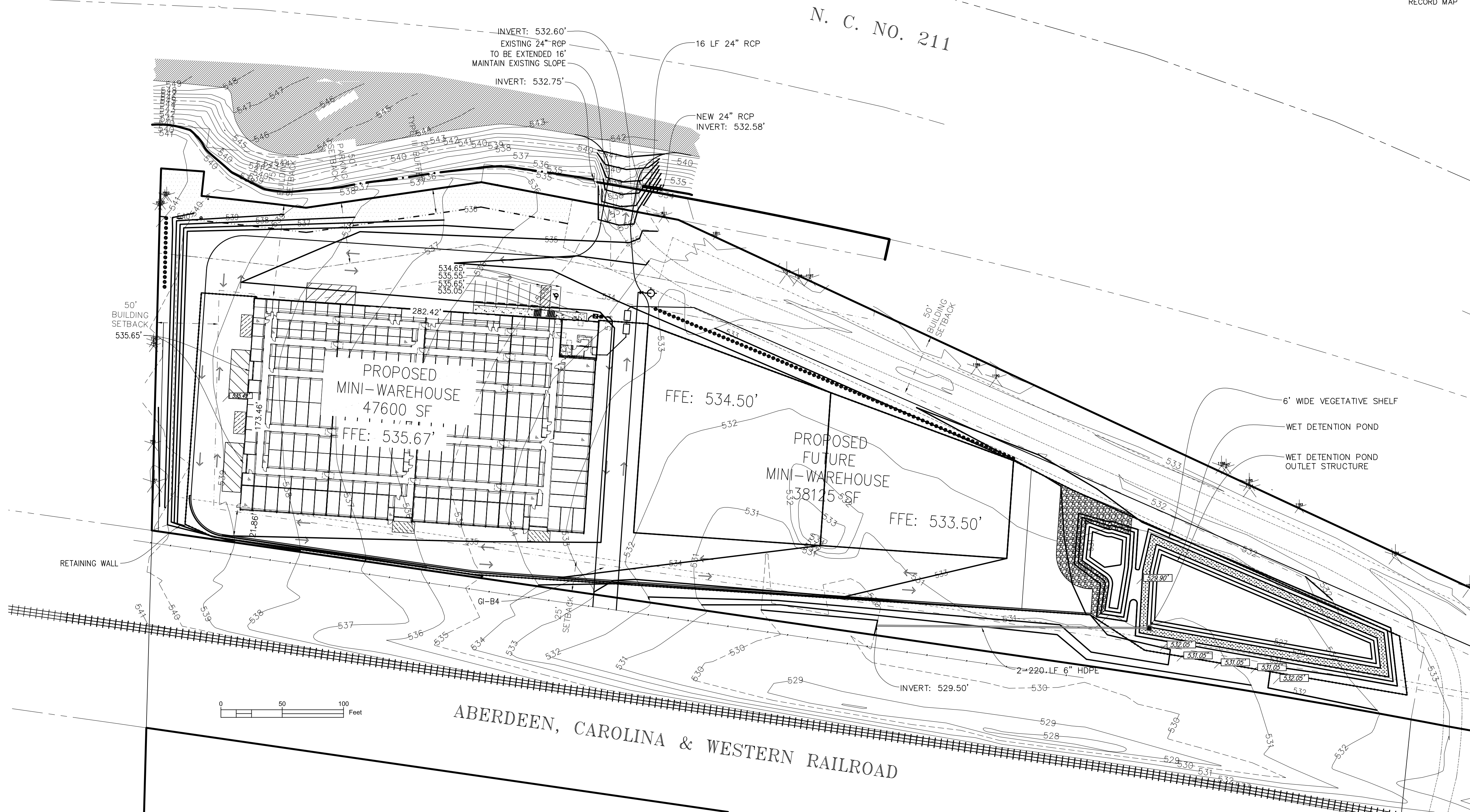
### PARKING DATA

MINI-WAREHOUSE:  
REQUIREMENT: 1 SPACE PER 300SF(OFFICE)  
SPACES REQUIRED: 3  
SPACES PROVIDED: 7

### SITE DATA

SITE JURISDICTION: MOORE COUNTY  
ADDRESS: 6500 NC HWY 211  
WEST END, NC  
854300052794  
BOOK 4931, PAGE 433  
B-2

PARCEL ID/PIN: 854300052794  
DEED BOOK & PAGE: BOOK 4931, PAGE 433  
CURRENT ZONING: B-2 ZONING  
SETBACKS:  
FRONT: 50'  
SIDE: 0'  
REAR: 25'  
RURAL HIGHWAY CORRIDOR OVERLAY:  
FRONT BUILDING FROM HIGHWAY: 75'  
FRONT PARKING FROM HIGHWAY: 50'  
FROM RESIDENTIAL: 50'  
FROM NON-RESIDENTIAL: 25'  
TOTAL ACREAGE: 6.82 ACRES  
RIVER BASIN: LUMBER  
WATER SUPPLY WATERSHED: WS-II-BW(HQW)  
EXISTING IMPERVIOUS AREA: 0%(PRE-1994 AND POST 01-01-1994)  
PROPOSED IMPERVIOUS AREA: 3.416 ACRES(50.1%)  
DISTURBED AREA: 4.67 ACRES  
PROPOSED BUILDING HEIGHT: 25'-2"



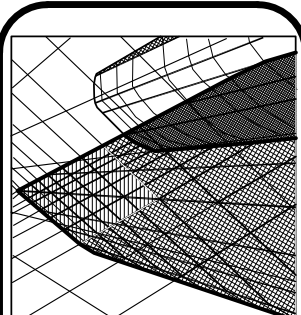
Know what's below.  
Call before you dig.

PINEHURST SELF STORAGE

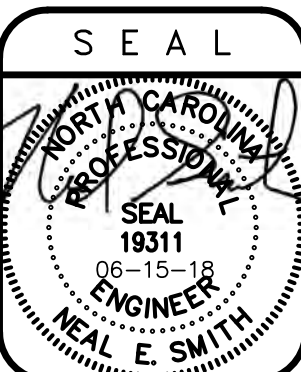
WEST END, NC

GRADING AND DRAINAGE PLAN

REVISIONS:	BCW
1	06-15-18



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Fax: (910) 695-8832  
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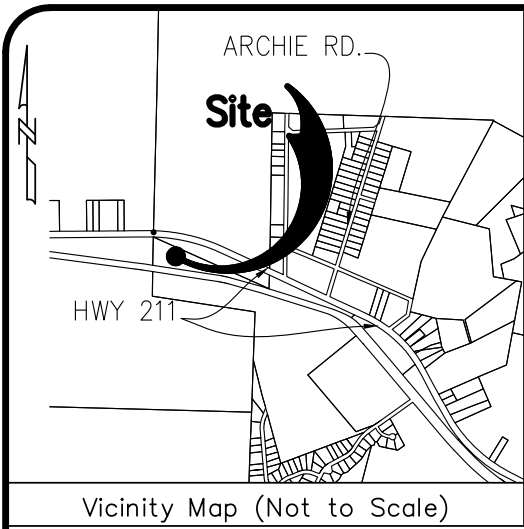


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Legend:

- = Iron Pipe Found
- = Iron Rod Found
- ▲ = Concrete Monument Found
- ▲ = PK Nail Found
- ▲ = PK Nail Set
- = Existing Right of Way
- = Proposed Right of Way
- = Boundary Line
- = Adjacent Property Lines not Surveyed
- = Existing Setback Lines
- = Proposed Setback Lines
- = Existing Contour
- = Proposed Contour
- = Approximate Location of Existing Waterline
- 6WL = Proposed 6" Waterline
- = Approximate Location of Existing Gas line
- = Existing Sanitary Sewer Line
- 8SS = Proposed 8" Sanitary Sewer Line
- = Existing Easement
- = Proposed Easement
- OHU = Existing Overhead Utility
- UGU = Existing Underground Utility
- WET = Existing Wetland Limits
- X-X-X = Existing Fence
- X-X-X = Proposed Fence
- 4SS = Proposed 4" Sewer Service
- 2WL = Proposed 2" Water Service
- = Limits of Disturbance
- = Proposed Silt Fence
- = Proposed Temporary Diversion
- = Existing Stream Centerline
- = Existing Soil Road
- = Existing Gravel Road
- = Existing Light Pole
- = Proposed Light Pole
- = Existing Utility Pole
- = Proposed Utility Pole
- = Existing Water Meter
- = Proposed Water Meter
- = Existing Water Valve
- = Proposed Water Valve
- = Existing Fire Hydrant
- = Proposed Fire Hydrant
- = Existing Sanitary Sewer Manhole
- = Proposed Sanitary Sewer Manhole
- = Existing Sewer Clean out
- = Proposed Sewer Clean out
- = Curb Inlet
- = Existing Storm Drain Manhole
- = High Density Polyethylene Pipe
- = Reinforced Concrete Pipe
- = Flared End Section
- = Proposed Spot Elevation
- = 10" Pine (typ.)
- = Existing Tree to be Removed

SITE DATA

SITE JURISDICTION: MOORE COUNTY  
ADDRESS: 6500 NC HWY 211  
WEST END, NC  
854300052794  
BOOK 4931, PAGE 433  
B-2

PARCEL ID/PIN: 776.00  
DEED BOOK & PAGE: 10P  
CURRENT ZONING: B-2 ZONING  
SETBACKS: 50'  
FRONT: 0'  
SIDE: 0'  
REAR: 25'  
RURAL HIGHWAY CORRIDOR OVERLAY: 75'  
FRONT BUILDING FROM HIGHWAY: 50'  
FRONT PARKING FROM HIGHWAY: 50'  
FROM RESIDENTIAL: 50'  
FROM NON-RESIDENTIAL: 25'  
TOTAL ACREAGE: 6.82 ACRES  
RIVER BASIN: LUMBER  
WATER SUPPLY WATERSHED: WS-II-BW(HQW)  
EXISTING IMPERVIOUS AREA: 0.0X(PRE-1994 AND POST 01-01-1994)  
PROPOSED IMPERVIOUS AREA: 3.416 ACRES(50.1%)  
DISTURBED AREA: 4.67 ACRES  
PROPOSED BUILDING HEIGHT: 25'-2"

PARKING DATA

MINI-WAREHOUSE: 1 SPACE PER 300SF(OFFICE)  
REQUIREMENT: 3  
SPACES REQUIRED: 7  
SPACES PROVIDED: 7

GROUND STABILIZATION CHART

Site Area Description	Stabilization Time Frame	Stabilization Time Frame Exceptions
Perimeter dikes, swales, ditches and slopes	7 Days	None
High Quality Water (HQW) Zones	7 Days	None
Slopes steeper than 3:1	7 Days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
Slopes 3:1 or flatter	14 Days	7-days for slopes greater than 50 feet in length
All other areas with slopes flatter than 4:1	14 Days	None (except for perimeters and HQW Zones)

**Temporary Silt Fence Note:**  
A reinforced, stabilized silt fence outlet shall be installed at all low points along the proposed silt fence.

**7 Day Groundcover Note:**  
All disturbed areas shall have ground stabilization within 7 calendar days.

**Diversion Swale Note:**  
All temporary diversion swales will be lined with a synthetic mat liner.

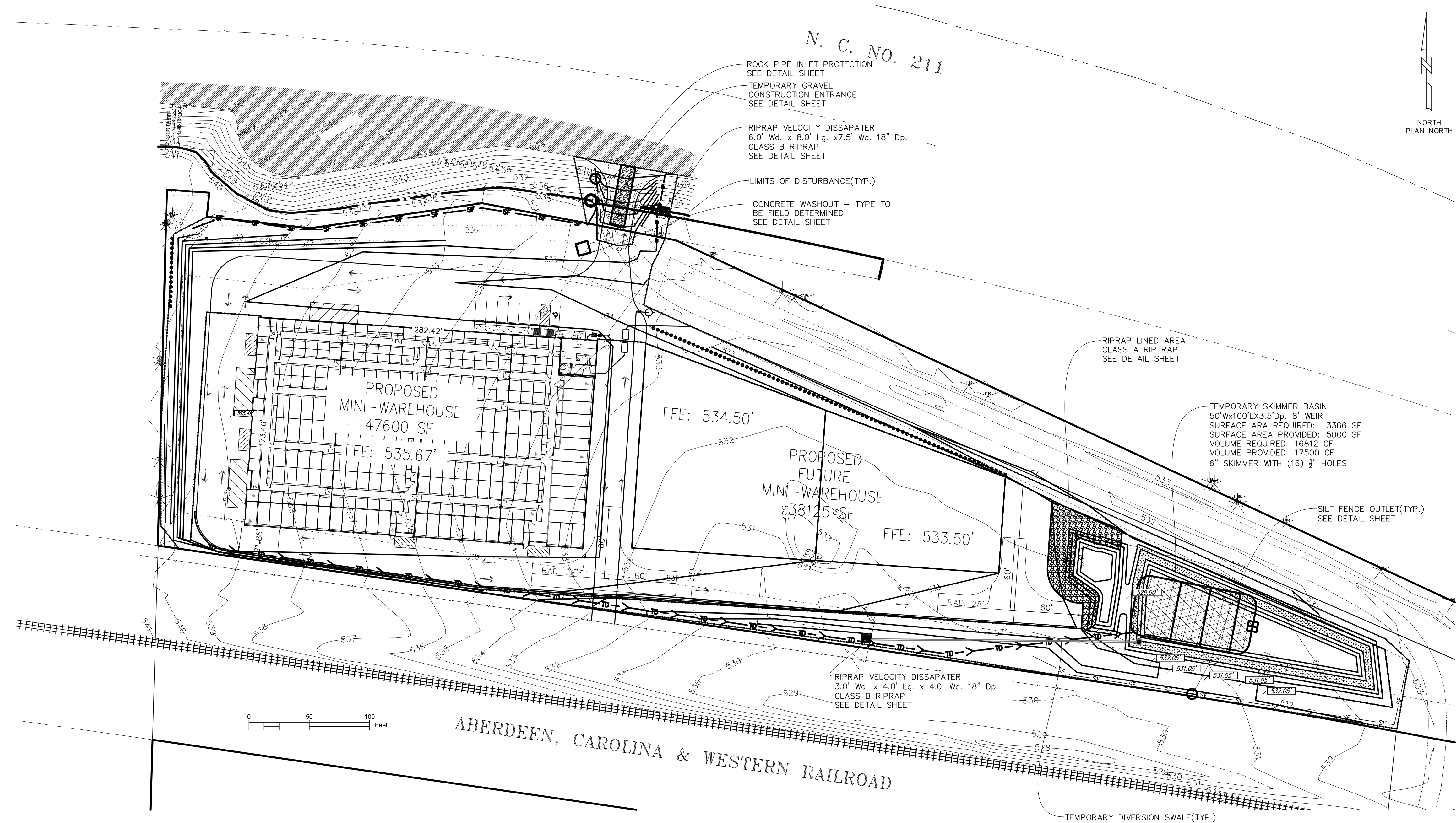
**Synthetic Mat Liner:** will be North American Green - Product P550 or equivalent.

NCDEQ-DEMLR NOTE:

THE CONTRACTOR SHALL CONTACT NCDEQ-DEMLR AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.  
CONTACT INFORMATION:  
RALEIGH REGIONAL OFFICE  
DIVISION OF ENERGY, MINERAL, AND LAND RESOURCES  
LAND QUALITY SECTION  
910-433-3300

MONITORING AND INSPECTION NOTE:

FINANCIALLY RESPONSIBLE PARTY SHALL PERFORM ALL REQUIRED SELF-INSPECTIONS AND MAINTAIN RECORDS OF THE INSPECTIONS AS REQUIRED BY GENERAL PERMIT NCG010000 AND G.S. 113A-54.1



NARRATIVE

PROJECT DESCRIPTION:  
THIS PROJECT ENTAILS THE CONSTRUCTION OF A 47,600 SF SELF STORAGE BUILDING WITH AN AREA FOR A FUTURE 38,125 SF SELF STORAGE BUILDING..

EXISTING SITE CONDITIONS:  
THE EXISTING SITE IS UNDEVELOPED.

ADJACENT AREAS:  
THE PROPERTY ADJOINS RESIDENTIAL, HWY 211 AND A RAILROAD RIGHT OF WAY.

OFF-SITE AREAS:  
ANY OFF-SITE BORROW AREAS SHALL HAVE AN EXISTING APPROVED SEDIMENT AND EROSION CONTROL PLAN ON FILE WITH NCDEQ.

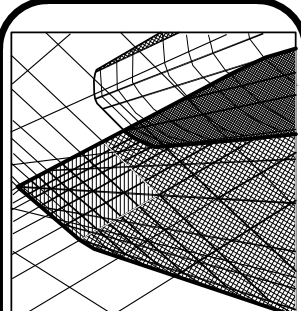
EROSION AND SEDIMENT CONTROL MEASURES:  
EROSION AND SEDIMENT ARE TO BE CONTROLLED BY USING THE DESIGNED MEASURES AS SHOWN ON THE PLANS AND DETAILS.

PINEHURST SELF STORAGE

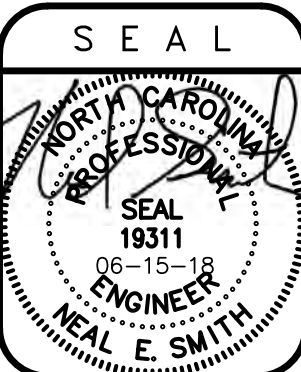
WEST END, NC

EROSION CONTROL PLAN

REVISED:	BCW
06-15-18	



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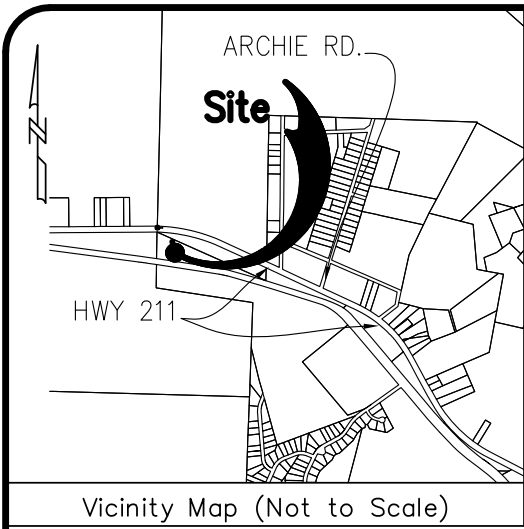
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- = Iron Rod Found
- = Concrete Monument Found
- ▲ = PK Nail Found
- △ = PK Nail Set
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- = Proposed Right of Way
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- = Approximate Location of Existing Waterline
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- = Proposed Easement
- = Existing Overhead Utility
- = Existing Underground Utility
- = Existing Wetland Limits
- = Existing Fence
- = Proposed Fence
- = Proposed 4" Sewer Service
- = Proposed 2" Water Service
- = Limits of Disturbance
- = Proposed Silt Fence
- = Proposed Temporary Diversion
- = Existing Stream Centerline
- = Existing Soil Road
- = Existing Gravel Road
- = Existing Light Pole
- = Proposed Light Pole
- = Existing Utility Pole
- = Proposed Utility Pole
- = Existing Water Meter
- = Proposed Water Meter
- = Existing Water Valve
- = Proposed Water Valve
- = Existing Fire Hydrant
- = Proposed Fire Hydrant
- = Existing Sanitary Sewer Manhole
- = Proposed Sanitary Sewer Manhole
- = Existing Sewer Clean out
- = Proposed Sewer Clean out
- = Curb Inlet
- = Existing Storm Drain Manhole
- = High Density Polyethylene Pipe
- = Reinforced Concrete Pipe
- = Flared End Section
- = Proposed Spot Elevation
- = 10" Pine (typ.)
- = Existing Tree to be Removed

TYPE 2 BUFFER ALONG PROPERTY LINE	
REQUIREMENTS	SHRUBS
	1 EVERGREEN SHRUBS PER 4 LF 60LF/4 = 15
NUMBER REQUIRED	15
NUMBER PROVIDED	15

### SITE DATA

SITE JURISDICTION:  
ADDRESS:

PARCEL ID/PIN:  
DEED BOOK & PAGE:  
CURRENT ZONING:

SETBACKS:  
B-2 ZONING

FRONT:  
SIDE:  
REAR:

RURAL HIGHWAY CORRIDOR OVERLAY:  
FRONT BUILDING FROM HIGHWAY

FRONT PARKING FROM HIGHWAY

FROM RESIDENTIAL

FROM NON-RESIDENTIAL

TOTAL ACREAGE

RIVER BASIN

WATER SUPPLY WATERSHED:

EXISTING IMPERVIOUS AREA:

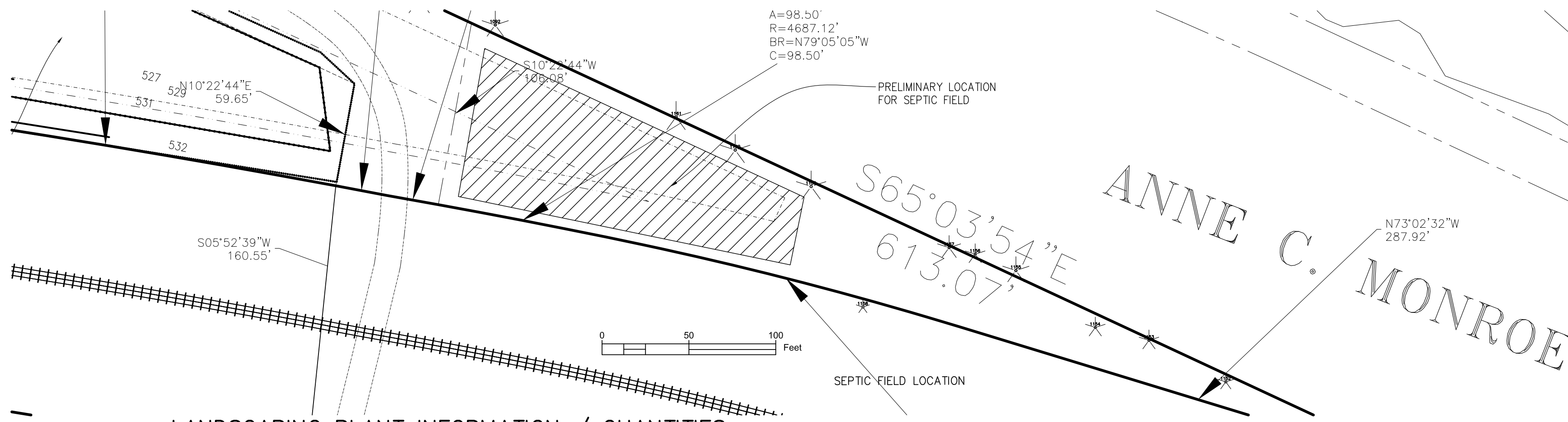
PROPOSED IMPERVIOUS AREA:

DISTURBED AREA:

PROPOSED BUILDING HEIGHT:

MOORE COUNTY  
6500 NC HWY 211  
WEST END, NC  
854300052794  
BOOK 4931, PAGE 433  
B-2

50'  
0'  
25'  
75'  
50'  
50'  
25'  
6.82 ACRES  
LUMBER  
WS-II-BW(HOW)  
0%(PRE-1994 AND POST  
01-01-1994)  
3.416 ACRES(50.1%)  
4.67 ACRES  
25'-2"



### LANDSCAPING PLANT INFORMATION / QUANTITIES:

SYMBOL	PLANT NAME	QUANTITY	SIZE AT PLANTING	HEIGHT AT MATURITY	SPREAD AT MATURITY
●	YAUPON HOLLY(ILEX VOMITORIA)	50	24" HEIGHT	4'-6'	3'-5'
●	LONG LEAF PINE (47 NEW AND 3 EXISTING)	50 (3 EXISTING)	3" CALIPER(8' HEIGHT)	80'-100'	30'+
●	WAXMYRTLE (MYRICA CERIFERA)	95	5' HEIGHT	10'	3'-5'

20' TYPE 3 BUFFER IN HCOD		
REQUIREMENTS	LG. TREES	SHRUBS
	15 LG. TREE PER 100 LF 336LF/100x15 = 50.4	15 EVERGREEN SHRUBS PER 100 LF 336 LF/100x15 = 36.3
NUMBER REQUIRED	50	50
NUMBER PROVIDED	50	50

TYPE 2 BUFFER ALONG BUILDING	
REQUIREMENTS	SHRUBS
	1 EVERGREEN SHRUBS PER 4 LF 320LF/4 = 80
NUMBER REQUIRED	80
NUMBER PROVIDED	80

### LANDSCAPING/BUFFER DATA

20' BUFFER - TYPE 3

TYPE 3 BUFFER REQUIREMENTS:

EXISTING VEGETATION WIDTH OF 20 FEET, INCLUDING A MINIMUM OF 15 TREES, AT LEAST HALF EVERGREEN, PLUS 15 SHRUBS, AT LEAST HALF EVERGREEN, PER 100 LINEAR FEET OF LOT BOUNDARY, PRORATED FOR LESS THAN 100 FOOT SECTIONS. NEW OR SUPPLEMENTAL TREES SHALL BE A MINIMUM HEIGHT OF 6 FEET AT THE TIME OF INSTALLATION WITH THE INTENT TO GROW TO 10 FEET WITHIN 2 YEARS. NEW OR SUPPLEMENTAL SHRUBS SHALL BE A MINIMUM OF 5 FEET AT TIME OF INSTALLATION WITH THE INTENT TO GROW TO 10 FEET WITHIN 5 YEARS.

PROPERTY LINES ABUTTING RESIDENTIAL:

TYPE 1, 2, OR 3 BUFFER

TYPE 1 BUFFER REQUIREMENTS:

A 6 FOOT HIGH ATTRACTIVE BLIND AND OPAQUE BARRIER, SUCH AS A MASONRY WALL, BLOCK WALL, BASKET WEAVE CHAIN LINK FENCE, OR OPAQUE WOODEN FENCE (INCLUDING ENTRANCE AND EXIT GATES) WITH THE FINISHED SIDE OF FENCE FACING THE ADJOINING PROPERTY.

TYPE 2 BUFFER REQUIREMENTS:

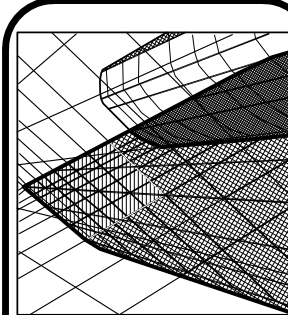
A SINGLE ROW OF EVERGREEN SHRUBS PLACED NO MORE THAN 4 FEET APART INSTALLED AT A MINIMUM HEIGHT OF 5 FEET WITH THE INTENT TO ACHIEVE OPAQUENESS AND A MINIMUM HEIGHT OF 10 FEET IN 5 YEARS. LOW LIMBS ARE NOT TO BE TRIMMED FROM THE PLANTING HIGHER THAN 24 INCHES FROM THE GROUND.

PINEHURST SELF STORAGE

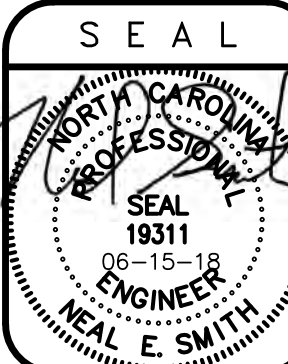
WEST END, NC

LANDSCAPING PLAN

REVISIONS:	BCW
1	06-15-18



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www.nseengineering.com  
License No. C-1425



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CONSTRUCTION

DRAWN BY: BCW
SCALE: As Noted
DATE: 05-09-18
JOB NUMBER: 1700599A
DRAWING KEY: LS-1

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Construction Specifications:

Site preparation – Clear, grub and strip topsoil from areas under the embankment to remove trees, vegetation, roots and other objectionable material. Delay clearing the pool area until the dam is complete and then remove brush, trees and other objectionable materials to facilitate sediment cleanout. Stockpile all topsoil or soil containing organic matter for use on the outer shell of the embankment to facilitate vegetative establishment. Place temporary sediment control measures below the basin as needed.

Cut-off trench – Excavate a cut-off trench along the centerline of the earth fill embankment. Cut the trench to stable soil material, but in no case make it less than 2Ft. deep. The cut-off trench must extend into both abutments to at least the elevation of the riser crest. Make the minimum bottom width wide enough to permit operation of excavation and compaction equipment but in no case less than 2 Ft. Make side slopes of the trench no steeper than 1:1. Compaction requirements are the same as those for the embankment. Keep the trench dry during backfilling and compaction operations.

Embankment – Take fill material from the approved areas shown on the plans. It should be clean mineral soil, free of roots, woody vegetation, rocks and other objectional material. Scarify areas on which fill is to be placed before placing fill. the fill material must contain sufficient moisture so it can be formed by hand into a ball without crumbling. If water can be squeezed out of the ball, it is too wet for proper compaction. Place fill material in 6 to 8-inch continuous layers over the entire length of the fill area and then compact it. Compaction may be obtained by routing the construction hauling equipment over the fill so that the entire surface of each layer is traversed by at least one wheel or tread track of the heavy equipment, or a compactor may be used. Construct the embankment to an elevation 10% higher than the design height to allow for settling.

Conduit spillways – Securely attach the riser to the barrel or barrel stub to make a water tight structural connection. Secure all connections between barrel sections by approved watertight assemblies. Place the barrel and riser on a firm, smooth foundation of impervious soil. Do not use pervious material such as sand, gravel, or crushed stone as backfill around the pipe or anti-seep collars. Place the fill material around the pipe spillway in 4-inch layers and compact it under and around the pipe to at least the same density as the adjacent embankment. Care must be taken not to raise the pipe from firm contact with its foundation when compacting under the pipe haunches.

Place a minimum depth of 2Ft of hand-compacted backfill over the spillway before crossing it with construction equipment. Anchor the riser in place by concrete or other satisfactory means to prevent floatation. In no case should the pipe conduit be installed by cutting a trench through the dam after the embankment is complete.

Emergency spillway – Install the emergency spillway in undisturbed soil. The achievement of planned elevations, grade, design width, and entrance and exit channel slopes are critical to the successful operation of the emergency spillway.

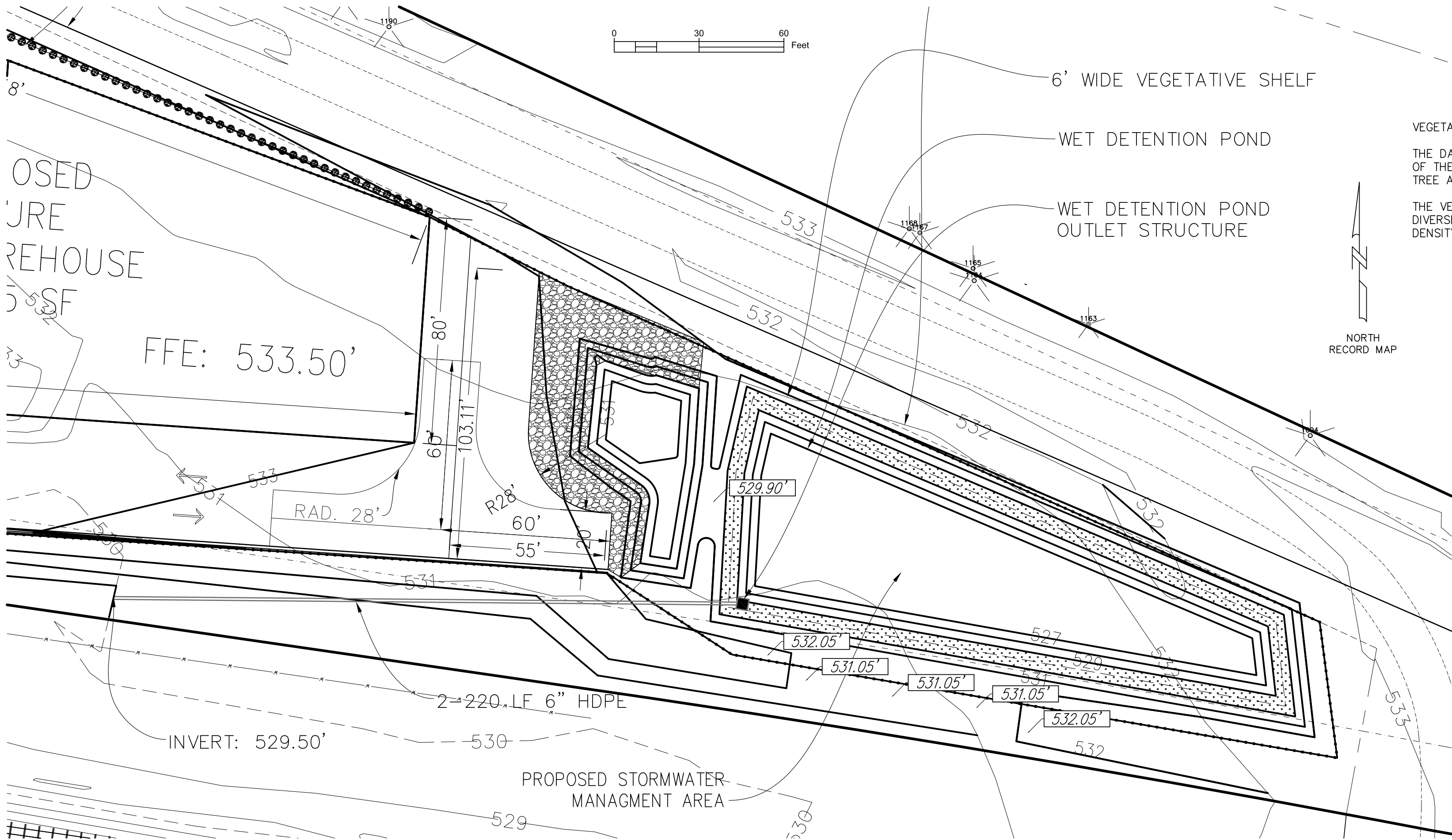
Inlets – Discharge water into the basin in a manner to prevent erosion. Use diversions with outlet protection to divert sediment-laden water to the upper end of the pool area to improve basin trap efficiency.

Erosion control – Construct the structure so that the disturbed area is minimized. Divert surface water away from bare areas. Complete the embankment before the area is cleared. Stabilize the emergency spillway embankment and all other disturbed areas above the crest of the principal spillway immediately after construction.

Safety – Sediment basins may attract children and can be dangerous. Avoid steep side slopes, and fence and mark basins with warning signs if trespassing is likely. Follow all state and local requirements.

Check wetlands after periods of significant runoff. Remove sediment and restore the forebay to its original dimensions when sediment accumulates to one-half the design depth.

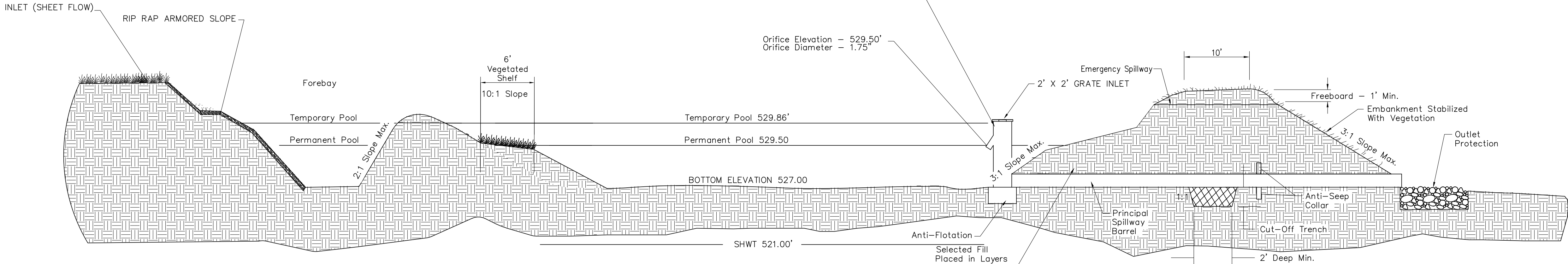
Check the embankment, spillways, and outlet for erosion damage, and inspect the embankment for piping and settlement. Make all necessary repairs immediately. Remove all trash and other debris from the riser and pool area.



VEGETATION NOTE:

THE DAM STRUCTURE, INCLUDING FRONT AND BACK EMBANKMENT SLOPES, OF THE POND SHALL BE VEGETATED WITH NON-CLUMPING TURF GRASS; TREE AND WOODY SHRUBS SHALL NOT BE ALLOWED.

THE VEGETATIVE SHELF SHALL BE PLANTED WITH A MINIMUM OF THREE DIVERSE SPECIES OF HERBACEOUS, NATIVE VEGETATION AT A MINIMUM DENSITY OF 50 PLANTS PER 200 SQUARE FEET OF SHELF AREA.



Design	Wet Detention Pond						Barrel Size	Barrel Length	Riser Size		Top Riser Elev.	Invert Riser Elev.	Top of Dam Elev.	Spillway Elev.	Spillway Width	Anti-Flotation	Dissipator Size
	Outlet	Outlet Invert	Outlet Top of Pipe	Inlet Invert	Inlet Top of Pipe	Bottom Of Pond Elevation											
First 1"-1yr/24hr Storm	1-1.75" Dia. Opening	529.50'	530.00	529.50	530.00	527.00	(2) 6"HDPE	220'	4' X 4'		530.00	529.50'	532.05'	531.05'	60'	2.0'Lx2.0'Wx2.0'Dp.	4.0'Lx3.0'Wx44.0'W 18"Dp. CLASS "B"

Nursery Listing

Mellow Marsh Farms, Inc.  
1312 Woody Store Road  
Siler City, NC 27344  
919-742-1200

Ernst Conservation Seeds, LP  
1-800-873-3321

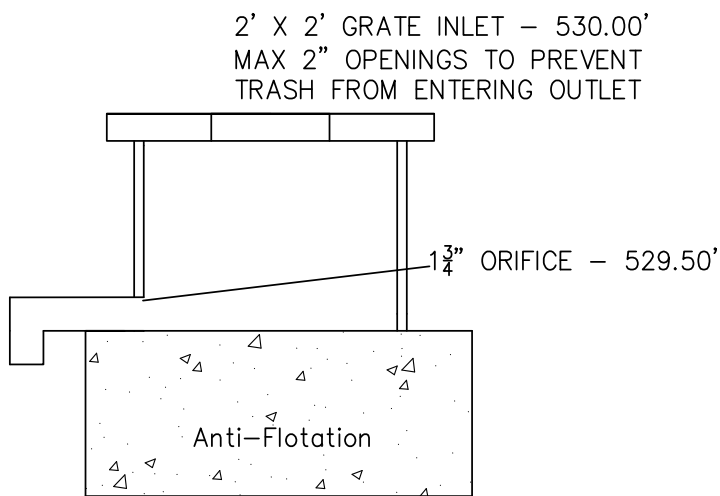
Planting Guide:

Herbaceous species will be planted with a spacing of 3 feet (on center). The number of species in each category is based on the area of the vegetated shelf. Planting Rate: 400 Stems/Acre Min.

HERBACEOUS PLANTING LIST

VEGETATED SHELF (HATCHED AREA) 3,037 SF 3037*50= 759.25 760 TOTAL REQUIRED PLANTINGS	QTY.	UNIT	SPECIES AND SIZE
	253	EA.	White-top Sedge (Rhynchospora colorata) plug or 4-inch
	253	EA.	Broomsedge (Andropogon virginicus) plug or 4-inch
	254	EA.	Bushy Bluestem (Andropogon glomeratus) plug or 4-inch
TOTAL	760		

Note: Other appropriate species may be considered based on availability.



DRAWDOWN DEVICE DETAIL

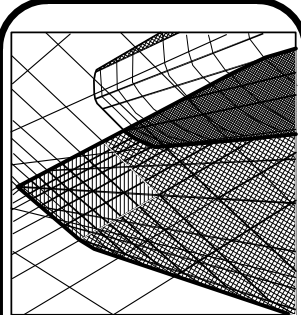
Scale: None

PINEHURST SELF STORAGE

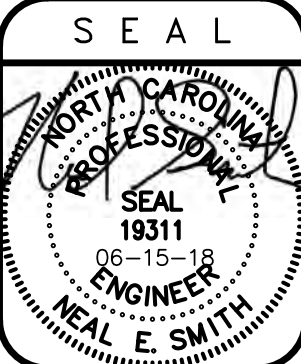
WEST END, NC

WET POND DETAIL

REVISED	DATE	BY	REVISIONS
1	08-15-18	BCW	



Neal Smith Engineering, Inc.  
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www.nseengineering.com  
License No. C-1425



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DRAWN BY: BCW
SCALE: As Noted
DATE: 05-09-18
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DRAWING KEY: CD-1

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Construction Specifications:

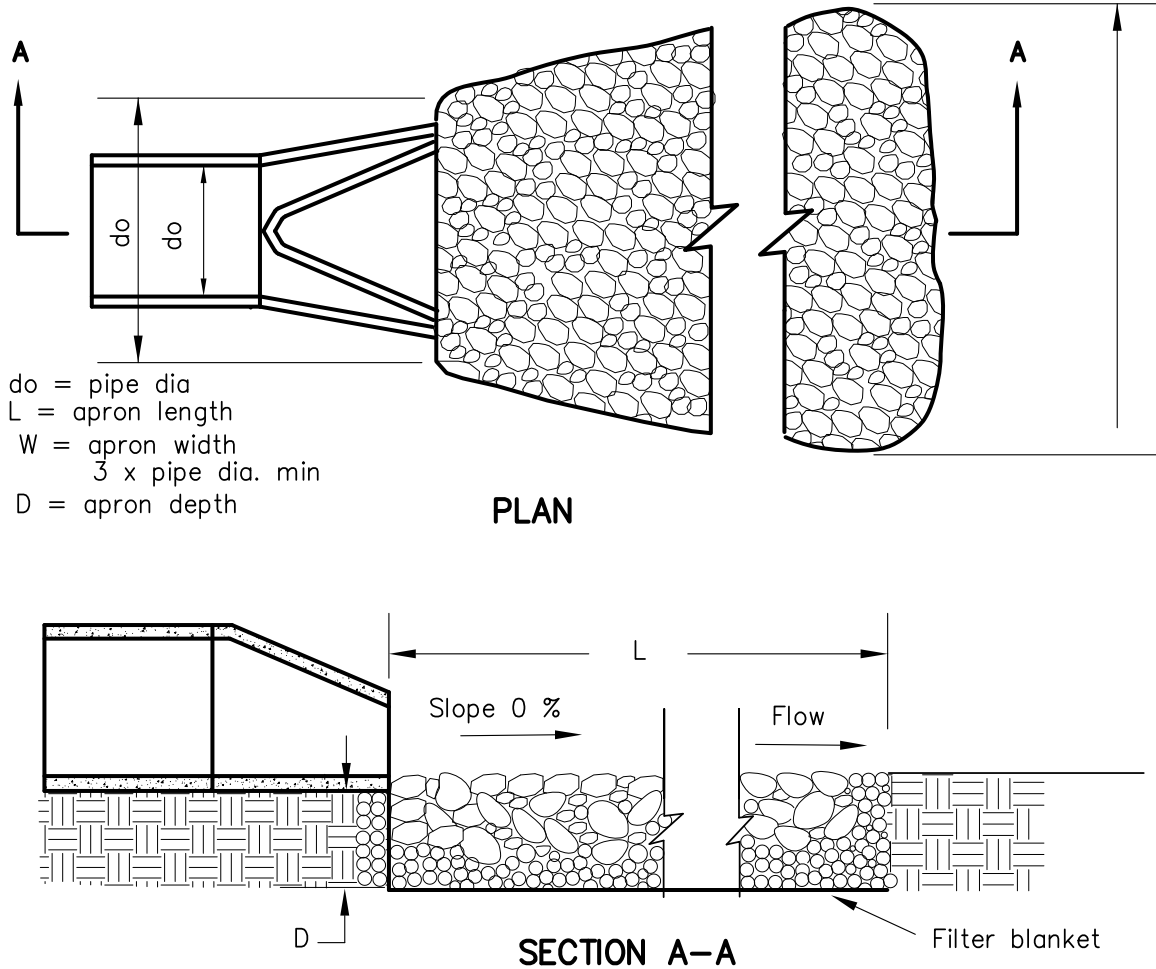
1. Ensure that the subgrade for the filter and riprap follows the required lines and grades shown in the plan. Compact any fill required in the subgrade to the density of the surrounding undisturbed material. Low areas in the subgrade on undisturbed soil may also be filled by increasing the riprap thickness.
2. The riprap and gravel filter must conform to the specified grading limits shown on the plans.
3. Filter cloth, when used, must meet design requirements and be properly protected from punching or tearing during installation. Repair any damage by removing the riprap and placing another piece of filter cloth over the damaged area. All connecting joints should overlap a minimum of 1 ft. If the damage is extensive, replace the entire filter cloth.
4. Riprap may be placed by equipment, but take care to avoid damaging the filter.
5. The minimum thickness of the riprap should be 1.5 times the maximum stone diameter.
6. Riprap may be field stone or rough quarry stone. It should be hard, angular, highly weather-resistant and well graded.
7. Construct the apron on zero grade with no overfall at the end. Make the top of the riprap at the downstream end level with the receiving area or slightly below it.
8. Ensure that the apron is properly aligned with the receiving stream and preferably straight throughout it's length. If a curve is needed to fit site conditions, place it in the upper section of the apron.
9. Immediately after construction, stabilize all disturbed areas with vegetation.

Maintenance:

Inspect riprap outlet structures weekly and after significant (12 inch or greater) rainfall events to see if any erosion around or below the riprap has taken place, or if stones have been dislodged. Immediately make all needed repairs to prevent further damage.

NOTES:

- See plans for dimensions
1. L is the length of the riprap apron.
  2. A filter blanket or filter fabric should be installed between the riprap and soil foundation.

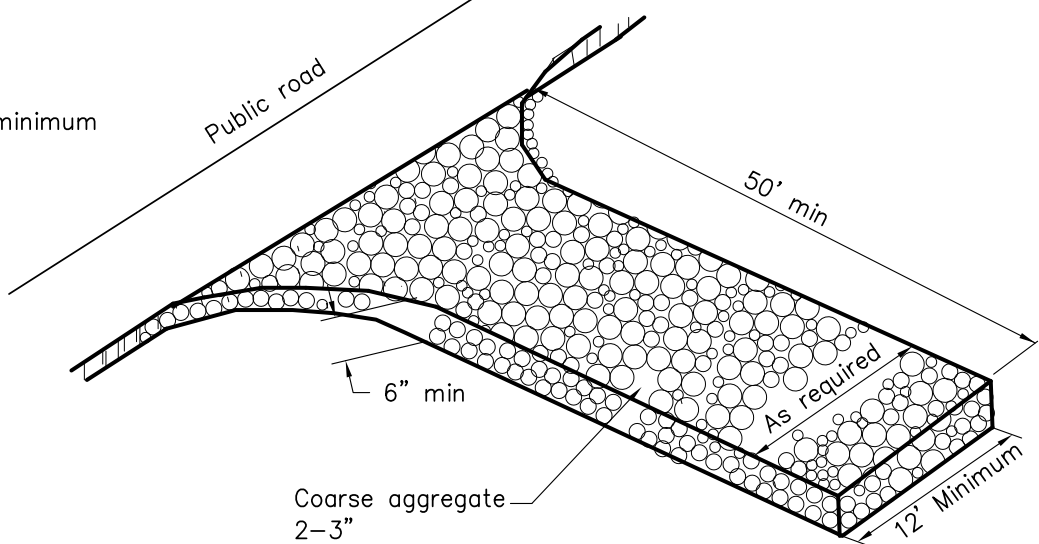


Riprap Velocity Dissipator Detail

Scale: None

NOTES:

- A. Gravel pad to be 12'x 50' and 6" thick minimum
- B. Turning radius sufficient to accommodate large trucks is to be provided.
- C. Entrance(s) should be located to provide for maximum utility by all construction vehicles.
- D. Must be maintained in a condition which will prevent tracking or direct flow of mud onto streets. Periodic topdressing with stone sill be necessary, keep some handy.
- E. Any material which still makes it onto the road must be cleaned up immediately.

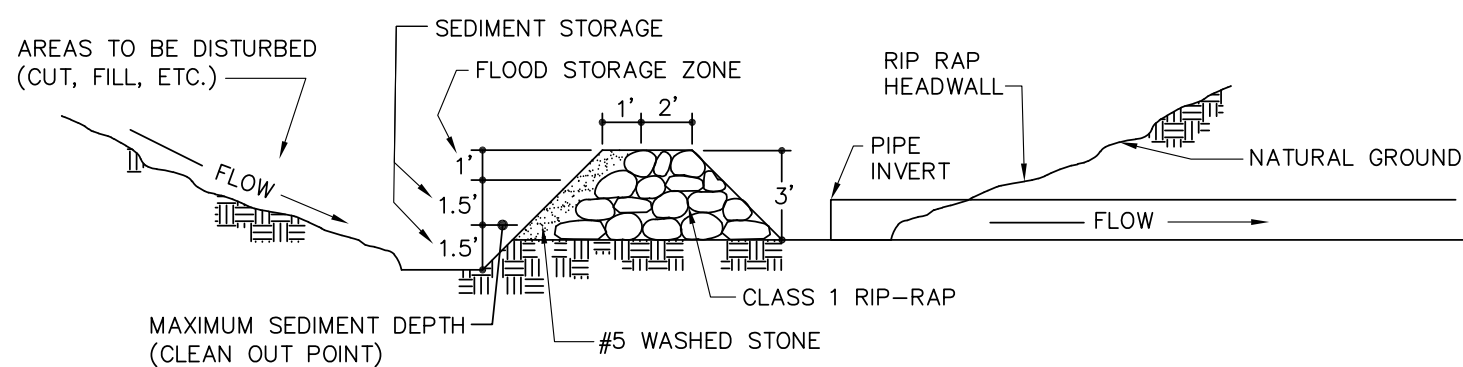
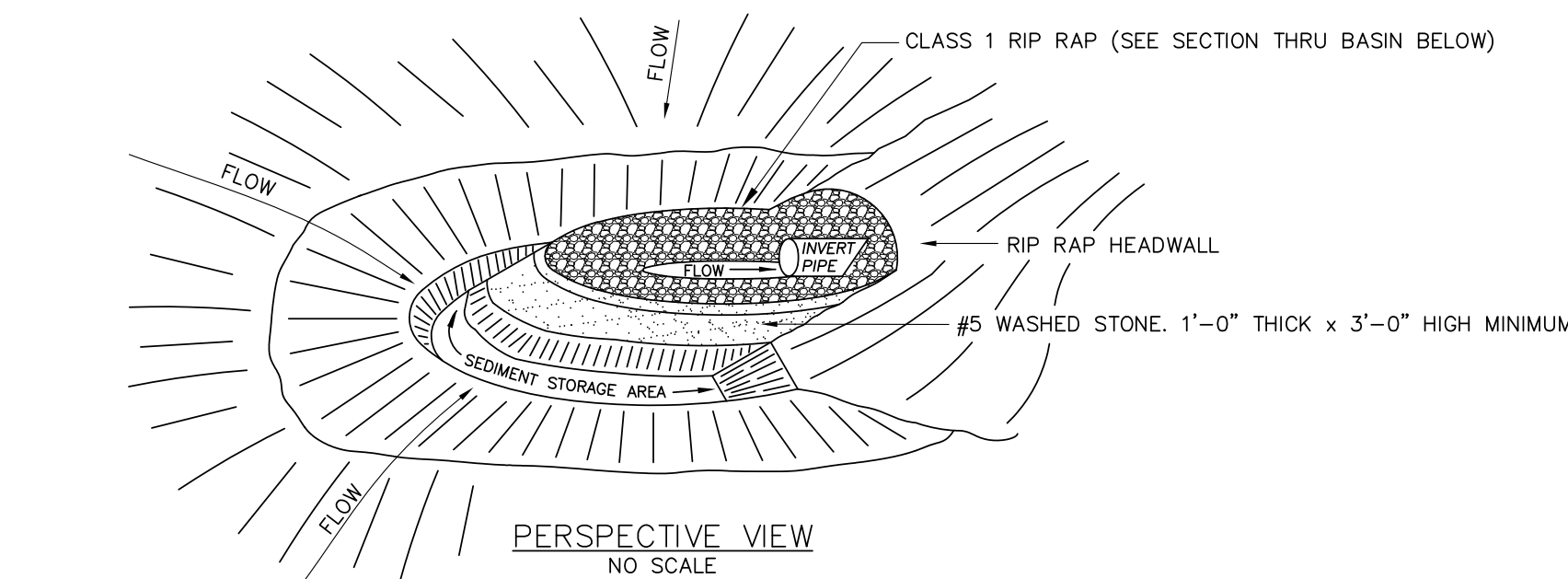


Maintenance:

Maintain the gravel pad in a condition to prevent mud or sediment from leaving the construction site. This may require periodic topdressing with 2-inch stone. After each rainfall, inspect any structure used to trap sediment and clean it out as necessary. Immediately remove all objectionable materials spilled, washed, or tracked onto public roadways.

Temporary Gravel Construction Entrance Detail

Scale : None



Rock Pipe Inlet Protection

Scale: None

Construction Specifications

1. Clear the area of all debris that might hinder excavation and disposal of spoil.
2. Install the Class B or Class I riprap in a semi-circle around the pipe inlet. The stone should be built up higher on each end where it ties into the embankment. The minimum crest width of the riprap should be 3 feet, with a minimum bottom width of 11 feet. The minimum height should be 2 feet, but also 1 foot lower than the shoulder of the embankment or diversions.
3. A 1 foot thick layer of NC DOT #5 or #57 stone should be placed on the outside slope of the riprap.
4. The sediment storage area should be excavated around the outside of the stone horseshoe 18 inches below natural grade.
5. When the contributing drainage area has been stabilized, fill depression and establish final grading elevations, compact area properly, and stabilize with ground cover.

Maintenance

Inspect rock pipe inlet protection at least weekly and after each significant (1/2 inch or greater) rainfall event and repair immediately. Remove sediment and restore the sediment storage area to its original dimensions when the sediment has accumulated to one-half the design depth of the trap. Place the sediment that is removed in the designated disposal area and replace the contaminated part of the gravel facing.

Check the structure for damage. Any riprap displaced from the stone horseshoe must be replaced immediately.

After all the sediment-producing areas have been permanently stabilized, remove the structure and all the unstable sediment. Smooth the area to blend with the adjoining areas and provide permanent ground cover (*Surface Stabilization*).

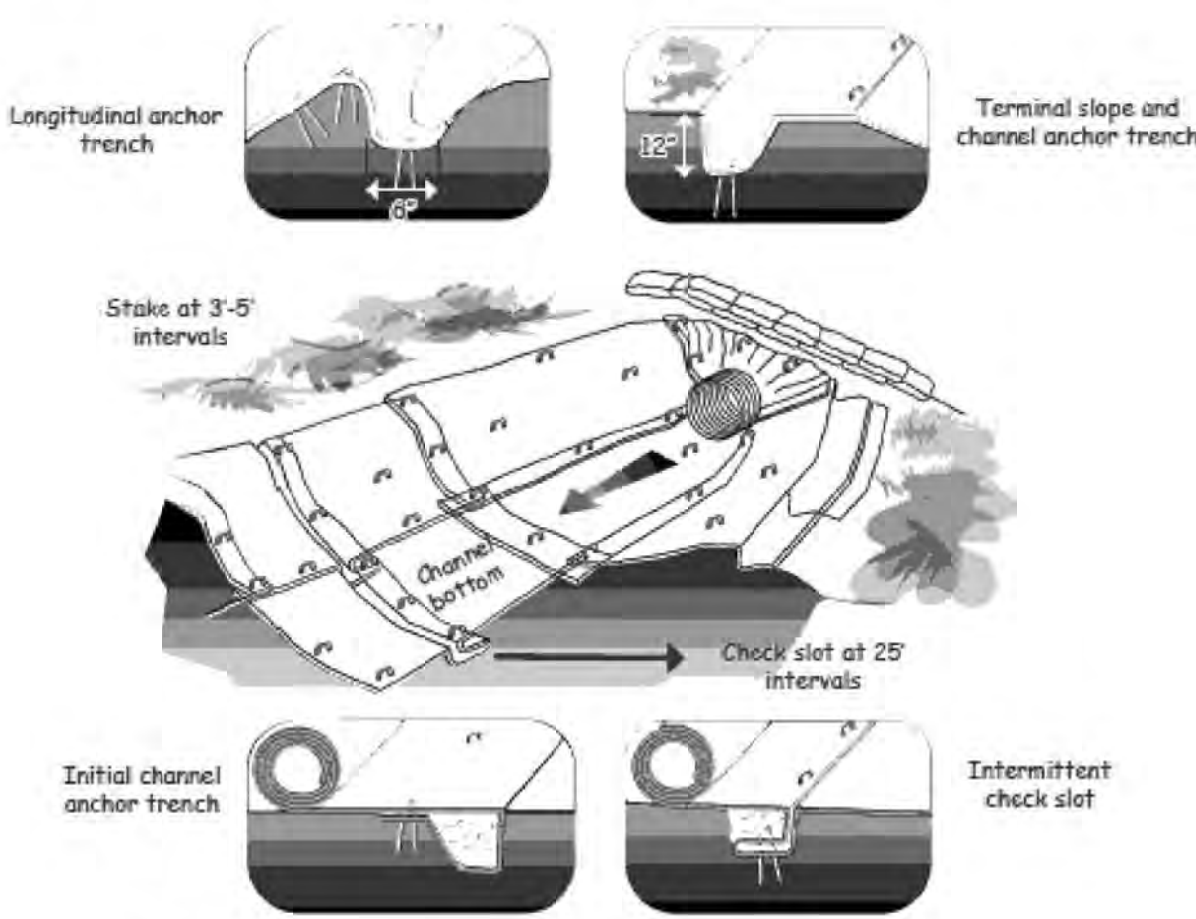
Installation for Slopes— Place the ECB 2–3 feet over the top of the slope and into an excavated end trench measuring approximately 12 inches deep by 6 inches wide. Pin the ECB at 1 foot intervals along the bottom of the trench, backfill, and compact. Unroll the ECB down (or along) the slope maintaining direct contact between the soil and the ECB. Overlap adjacent rolls a minimum of 3 inches. Pin the RECP to the ground using staples or pins in a 3 foot center-to-center pattern. Less frequent stapling/pinning is acceptable on moderate slopes.

Installation in Channels— Excavate terminal trenches (12 inches deep and 6 inches wide) across the channel at the upper and lower end of the lined channel sections. At 25-foot intervals along the channel, anchor the RECP across the channel either in 6 inch by 6 inch trenches or by installing two closely spaced rows of anchors. Excavate longitudinal trenches 6 inches deep and wide along channel edges (above water line) in which to bury the outside RECP edges. Place the first RECP at the downstream end of the channel. Place the end of the first RECP in the terminal trench and pin it at 1 foot intervals along the bottom of the trench. Note: The RECP should be placed upside down in the trench with the roll on the downstream side of the bench. Once pinned and backfilled, the RECP is deployed by wrapping over the top of the trench and unrolling upstream. If the channel is wider than the provided rolls, place ends of adjacent rolls in the terminal trench, overlapping the adjacent rolls a minimum of 3 inches. Pin at 1 foot intervals, backfill, and compact. Unroll the RECP in the upstream direction until reaching the first intermittent trench. Fold the RECP back over itself, positioning the roll on the downstream side of the trench, and allowing the mat to conform to the trench. Then pin the RECP (two layers) to the bottom of the trench, backfill, and compact. Continue up the channel (wrapping over the top of the intermittent trench) repeating this step at other intermittent trenches, until reaching the upper terminal trench. At the upper terminal trench, allow the RECP to conform to the trench, secure with pins or staples, backfill, compact, and then bring the mat back over the top of the trench and onto the existing mat (2 to 3 feet overlap in the downstream direction), and pin at 1 foot intervals across the RECP. When starting installation of a new roll, begin in a trench or shingle-lap ends of rolls a minimum of 1 foot with upstream RECP on top to prevent uplifting. Place the outside edges of the RECP(s) in longitudinal trenches, pin, backfill, and compact.

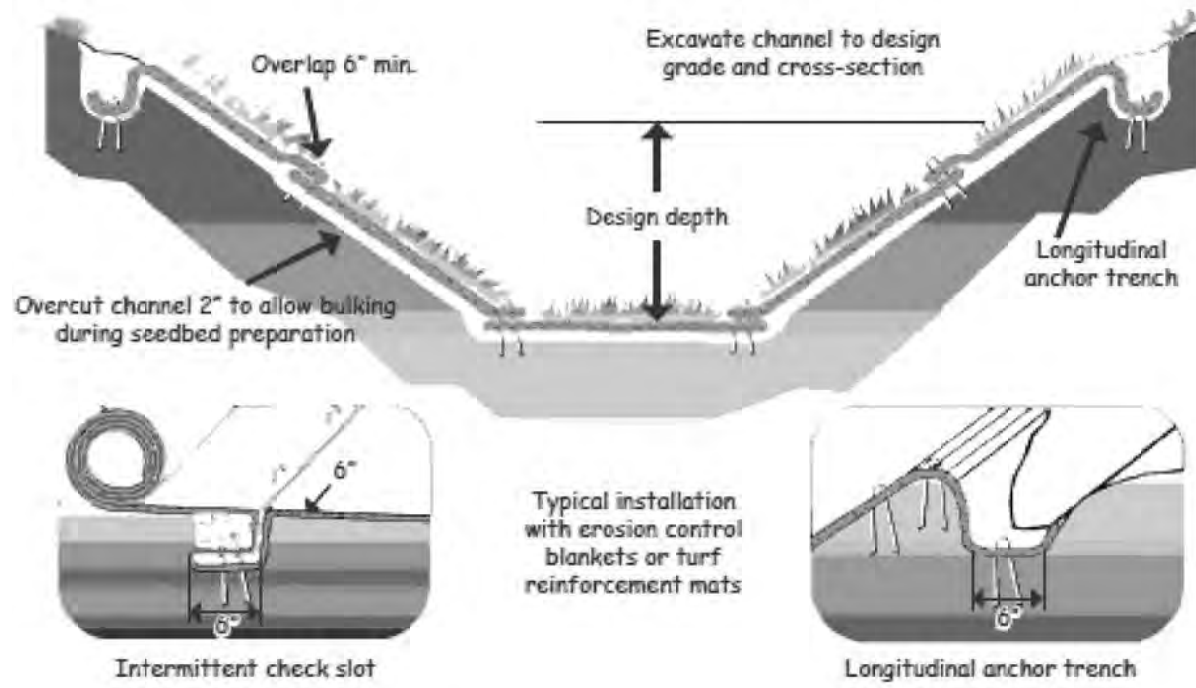
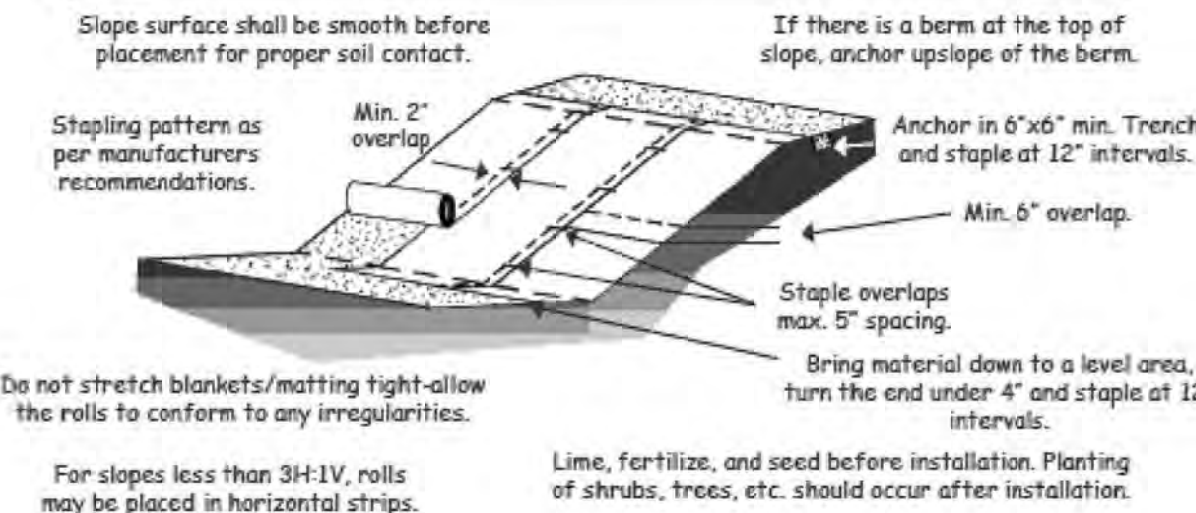
Anchoring Devices— 11 gauge, at least 6 inches length by 1 inch width staples or 12 inch minimum length wooden stakes are recommended for anchoring the RECP to the ground. Drive staples or pins so that the top of the staple or pin is flush with the ground surface. Anchor each RECP every 3 feet along its center. Longitudinal overlaps must be sufficient to accommodate a row of anchors and uniform along the entire length of overlap and anchored every 3 feet along the overlap length. Roll ends may be spliced by overlapping 1 foot (in the direction of water flow), with the upstream/upslope mat placed on top of the downstream/downslope RECP. This overlap should be anchored at 1 foot spacing across the RECP. When installing multiple width mats heat seamed in the factory, all factory seams and field overlaps should be similarly anchored.

Maintenance

1. Inspect Rolled Erosion Control Products at least weekly and after each significant (1/2 inch or greater) rain fall event repair immediately.
2. Good contact with the ground must be maintained, and erosion must not occur beneath the RECP.
3. Any areas of the RECP that are damaged or not in close contact with the ground shall be repaired and stapled.
4. If erosion occurs due to poorly controlled drainage, the problem shall be fixed and the eroded area protected.
5. Monitor and repair the RECP as necessary until ground cover is established.



NOTE:  
1. Check slots to be constructed per manufacturers specifications.  
2. Staking or stapling layout per manufacturers specifications.



NOTES:  
1. Design velocities exceeding 2 ft/sec require temporary blankets, mats or similar liners to protect seed and soil until vegetation becomes established.  
2. Grass-lined channels with design velocities exceeding 6 ft/sec should include turf reinforcement mats

Erosion Control Liner/Blanket Detail

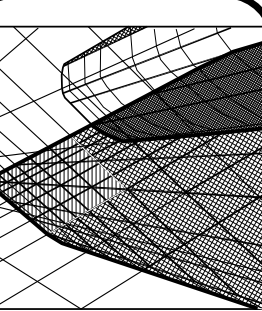
Scale : None

PINEHURST SELF STORAGE

WEST END, NC

EROSION CONTROL DETAILS

REVISIONS:



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TSN

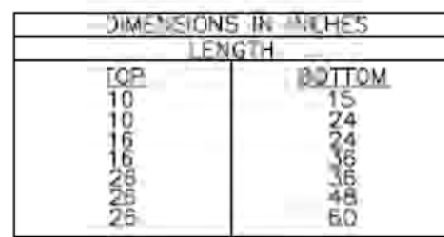
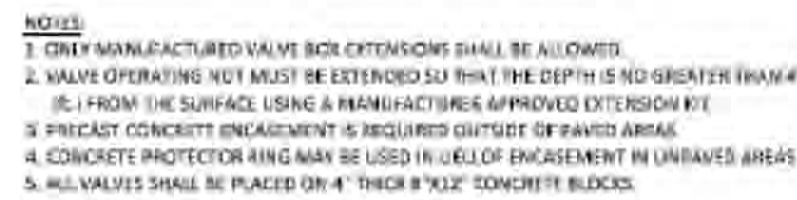


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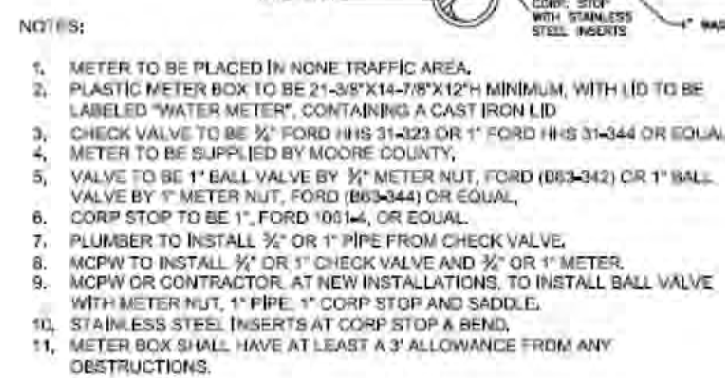
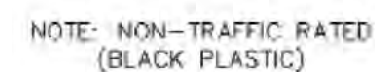
DRAWN BY:  
BCW  
SCALE:  
As Noted  
DATE:  
05-09-18  
JOB NUMBER:  
1700599A  
DRAWING KEY:  
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OCTOBER 2011

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JUNE 2017JUNE 2017JUNE 2017JUNE 2007

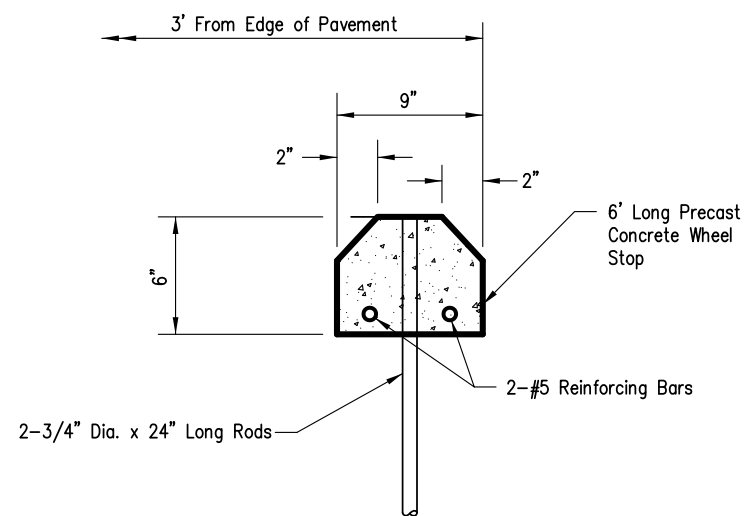
## SITE DETAILS

# ESN



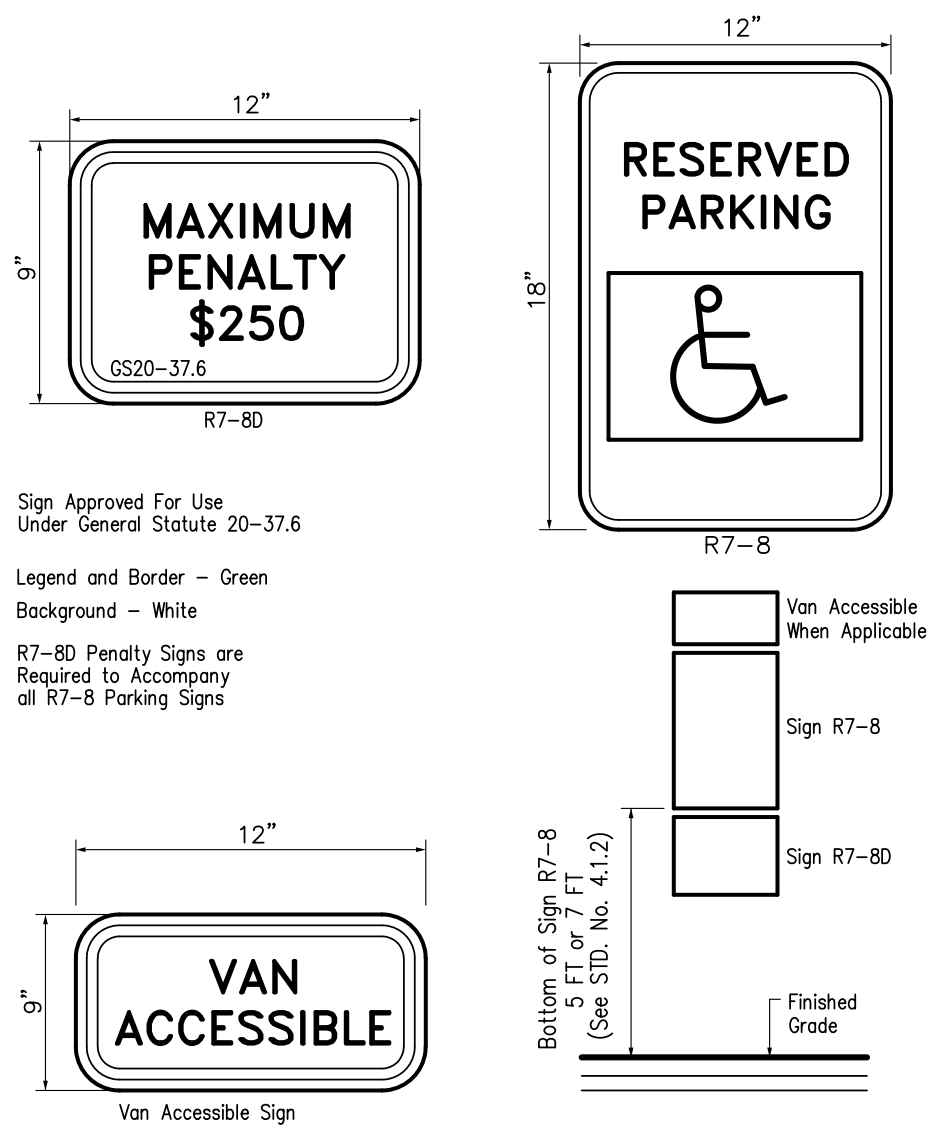
DRAWING KEY:  
CD-4

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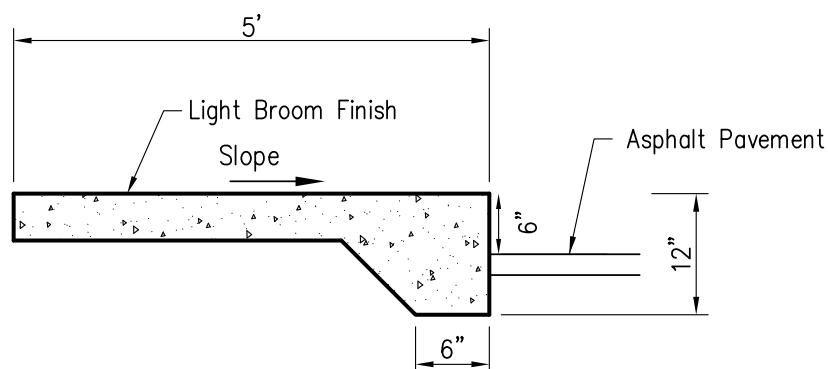
Concrete Wheel Stop Detail

Scale : None



Handicap Parking Sign Detail

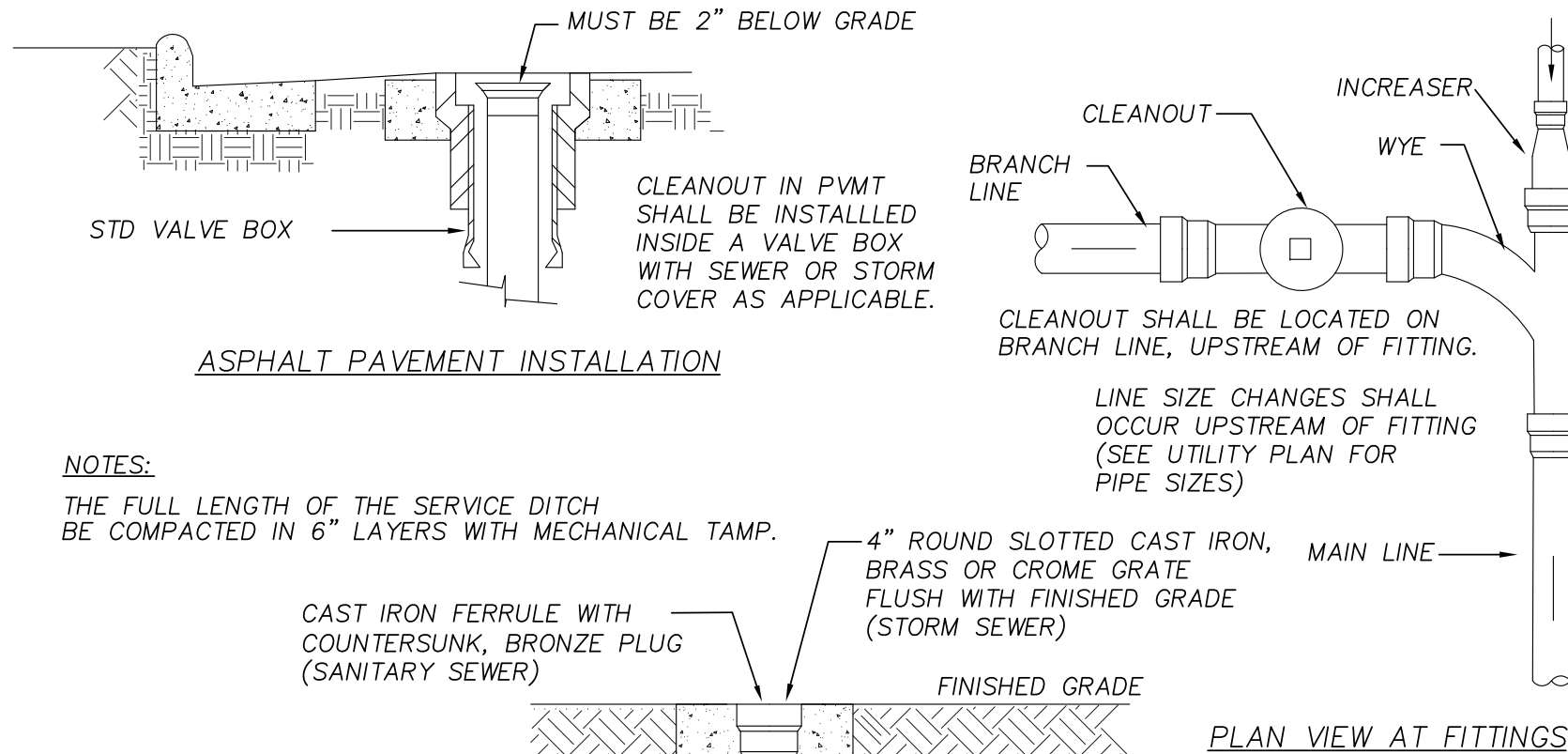
Scale: None



Note:  
Install Tooled Contraction Joint @ 5' O.C.

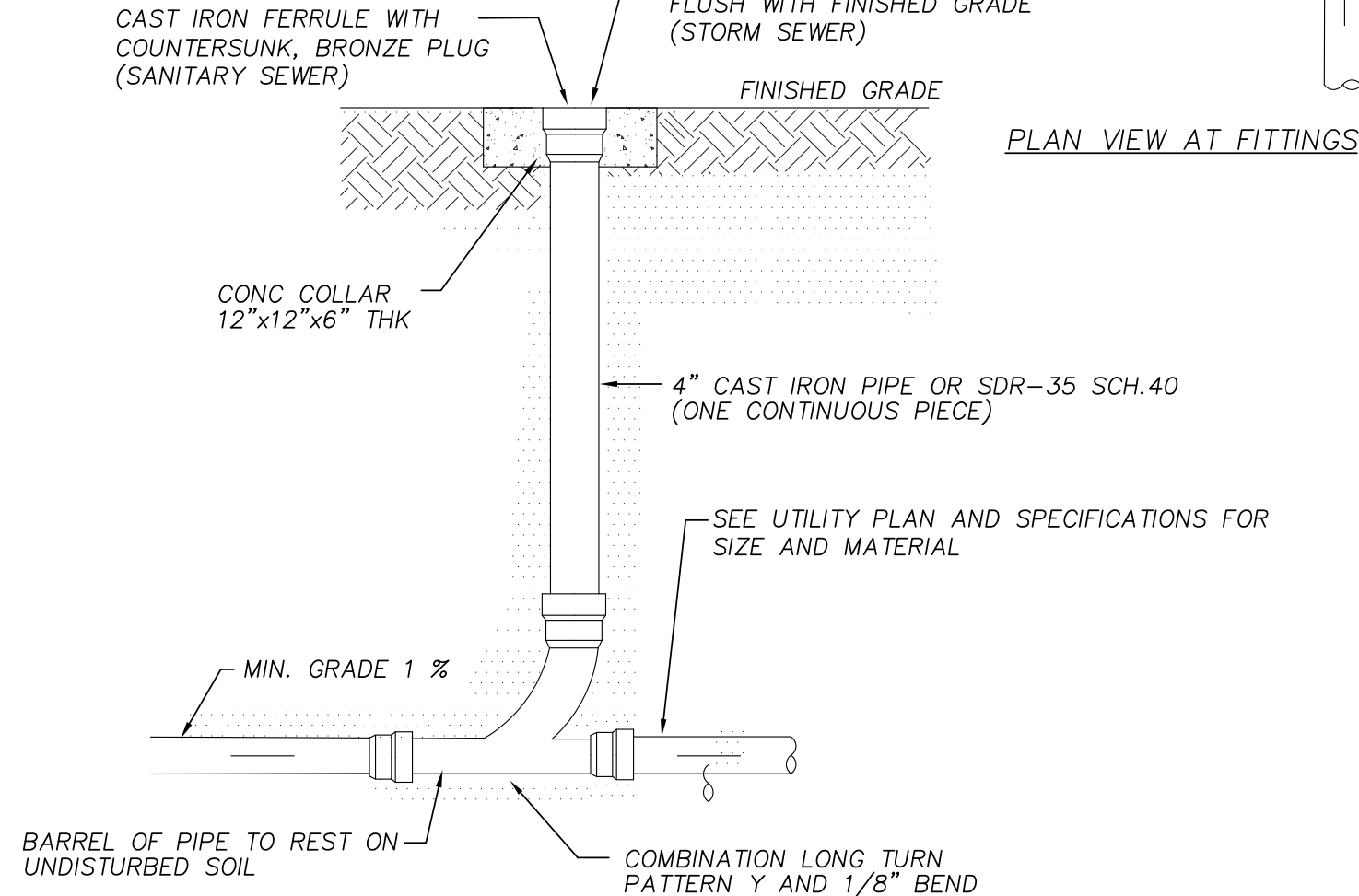
TURN-DOWN SLAB SIDEWALK DETAIL

Scale: None



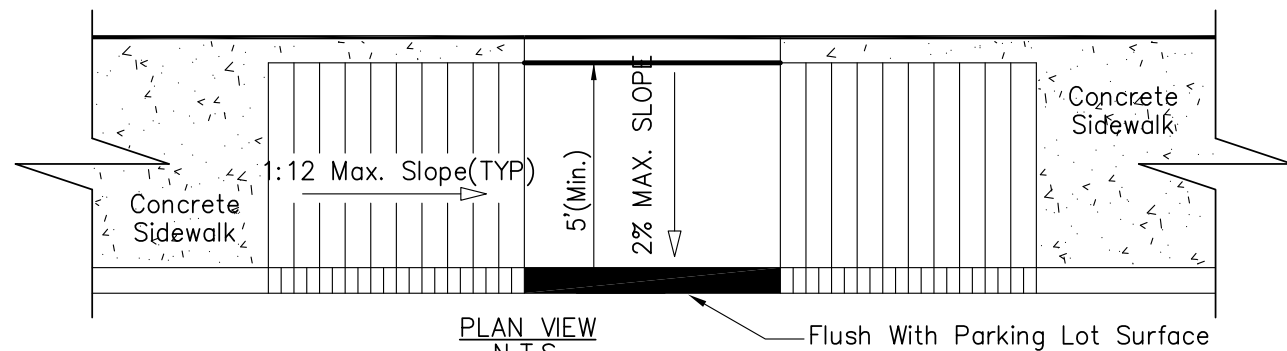
ASPHALT PAVING INSTALLATION

NOTES:  
THE FULL LENGTH OF THE SERVICE DITCH  
BE COMPACTED IN 6" LAYERS WITH MECHANICAL TAMP.



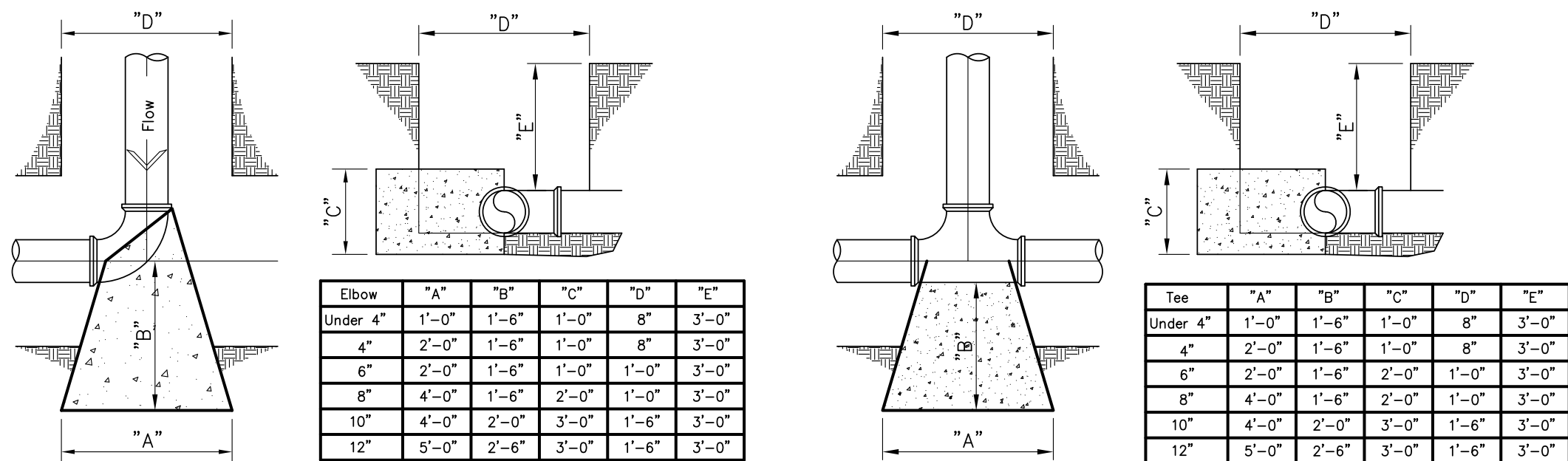
SEPTIC LINE CLEANOUT

Scale : None



Handicap Ramp

Scale : None

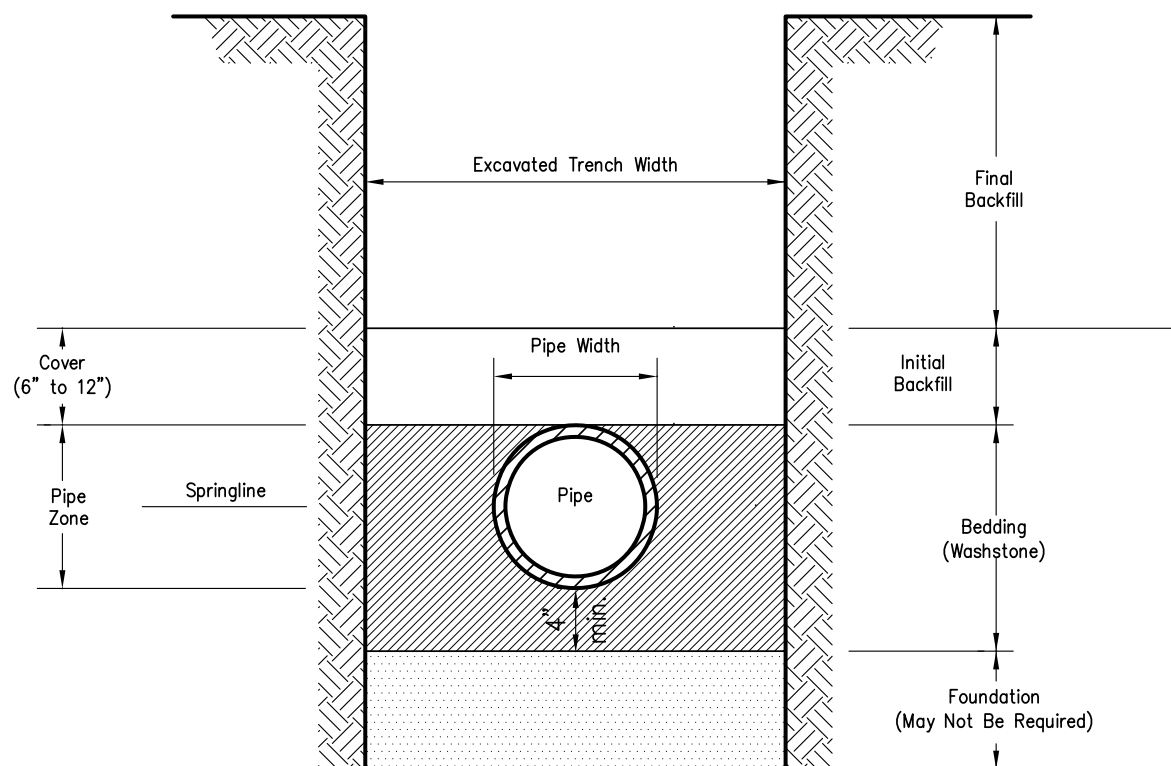


Elbow

THRUST BLOCK DETAIL

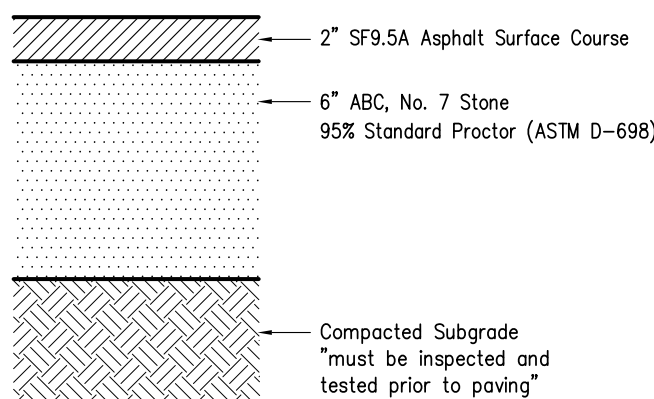
Scale : None

Tee



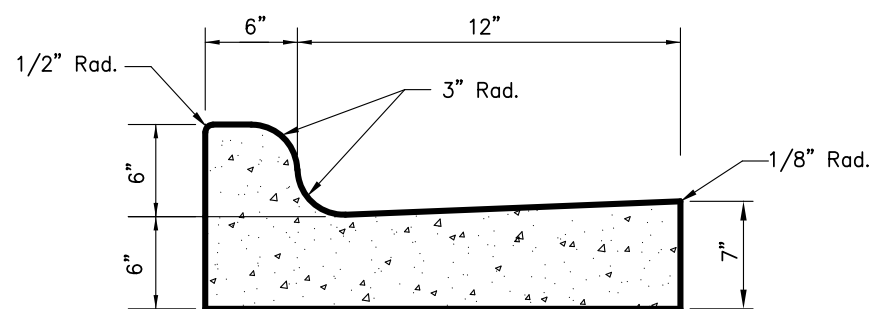
Trench Detail

Scale: None



Asphalt Paving Section

Scale : None



18" Curb & Gutter

Concrete Curb and Gutter Detail

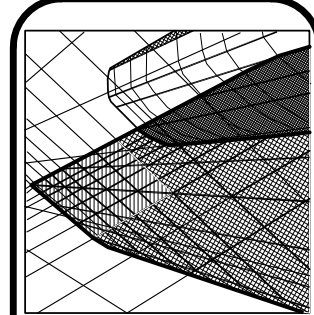
Scale : None

PINEHURST SELF STORAGE

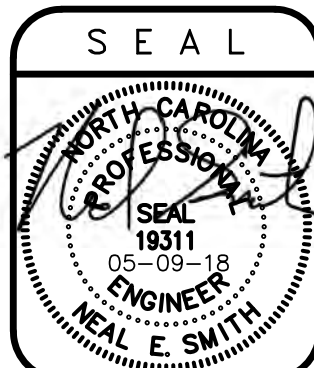
WEST END, NC

SITE DETAILS

REVISIONS:	REVISIONS:



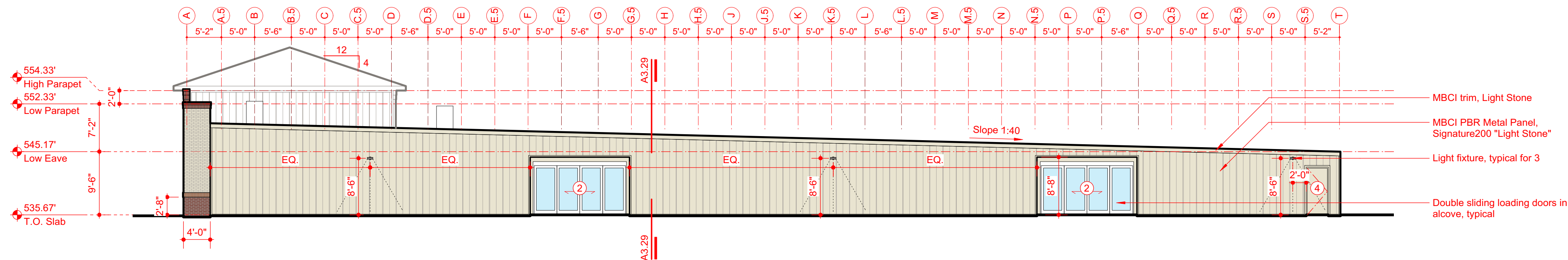
Neal Smith Engineering, Inc.  
139 Pinehurst Avenue - Suite C  
Southern Pines, NC 28387  
Phone: (910) 695-4825  
Fax: (910) 695-4832  
www.nseengineering.com  
License No. C-1425



RELEASED  
for  
CONSTRUCTION

DRAWN BY:  
BCW  
SCALE:  
As Noted  
DATE:  
05-09-18  
JOB NUMBER:  
1700599A  
DRAWING KEY:  
CD-5

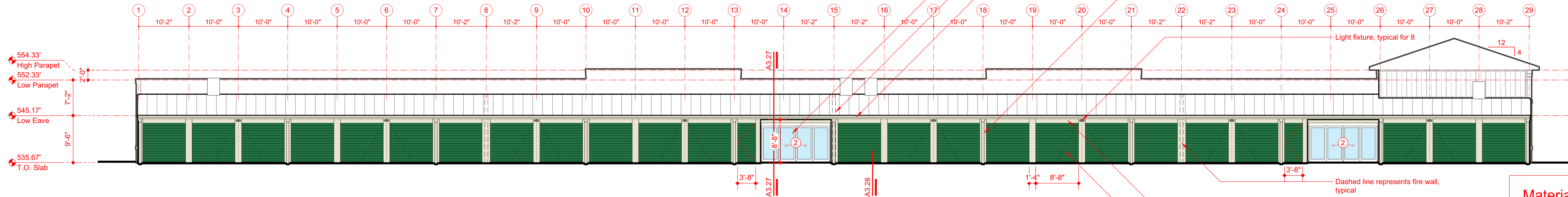
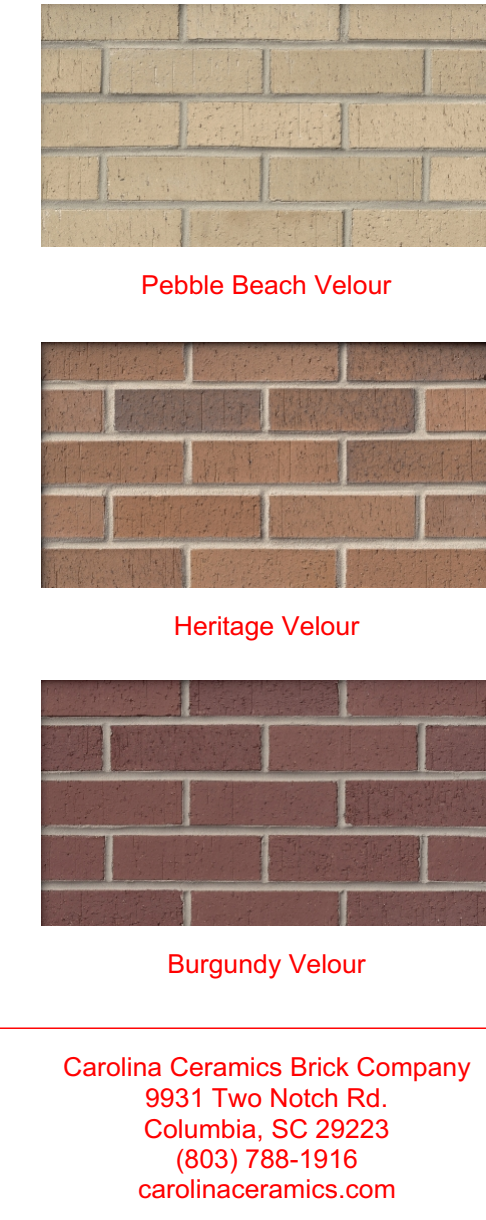




WEST ELEVATION

A2.12 1/8"

MBCI trim, Light Stone  
MBCI PBR Metal Panel, Signature200 "Light Stone"  
Light fixture, typical for 3  
Double sliding loading doors in alcove, typical

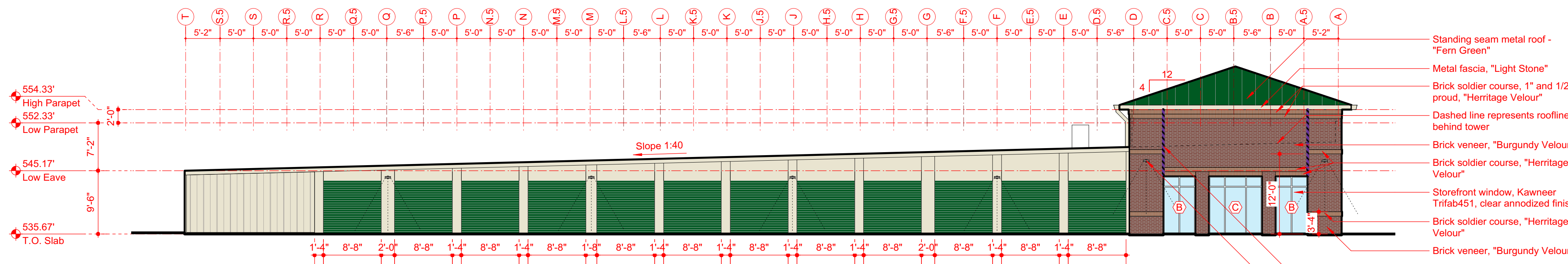


SOUTH ELEVATION

A2.14 1/8"

Double sliding glass loading doors in alcove, typical  
Dashed line represents fire wall, typical  
Metal gutter, "Light Stone"  
Metal downspouts, "Light Stone" (no more than 30'-0" o.c.)

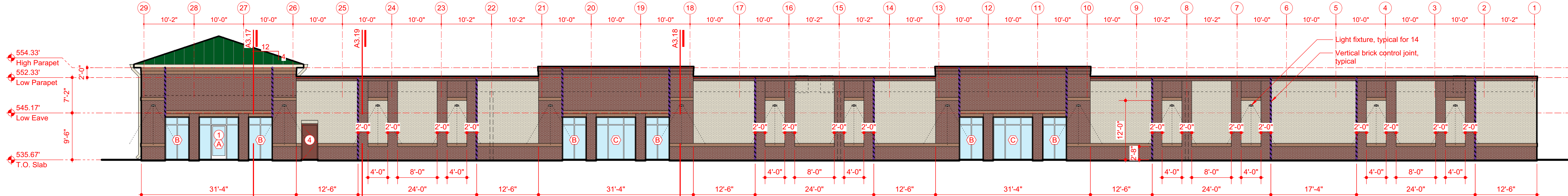
Material Legend



EAST ELEVATION

A2.16 1/8"

Standing seam metal roof - "Fern Green"  
Metal fascia, "Light Stone"  
Brick soldier course, 1" and 1/2" proud, "Heritage Velour"  
Dashed line represents roofline behind tower  
Brick veneer, "Burgundy Velour"  
Brick soldier course, "Heritage Velour"  
Storefront window, Kawneer Trifab451, clear anodized finish  
Brick soldier course, "Heritage Velour"  
Brick veneer, "Burgundy Velour"  
Vertical brick control joint, typical  
Light fixture, typical for 6



NORTH ELEVATION

A2.18 1/8"

Light fixture, typical for 14  
Vertical brick control joint, typical



COTHURAN  
HARRIS  
ARCHITECTURE  
5725 OLEANDER DRIVE, STE E-1  
WILMINGTON, NC 28403  
910.793.3433

PINEHURST  
SELF-STORAGE

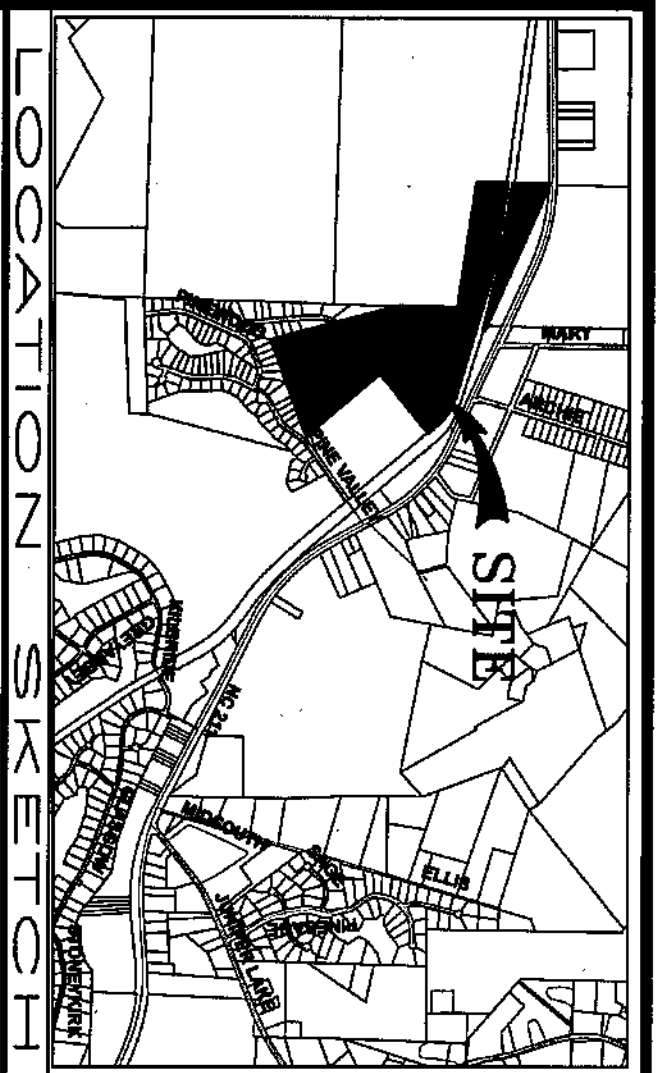
6510 NC HWY 211  
WEST END, NC 27376

ELEVATIONS

CONSTRUCTION DRAWINGS  
MARCH 26, 2018

A2.1

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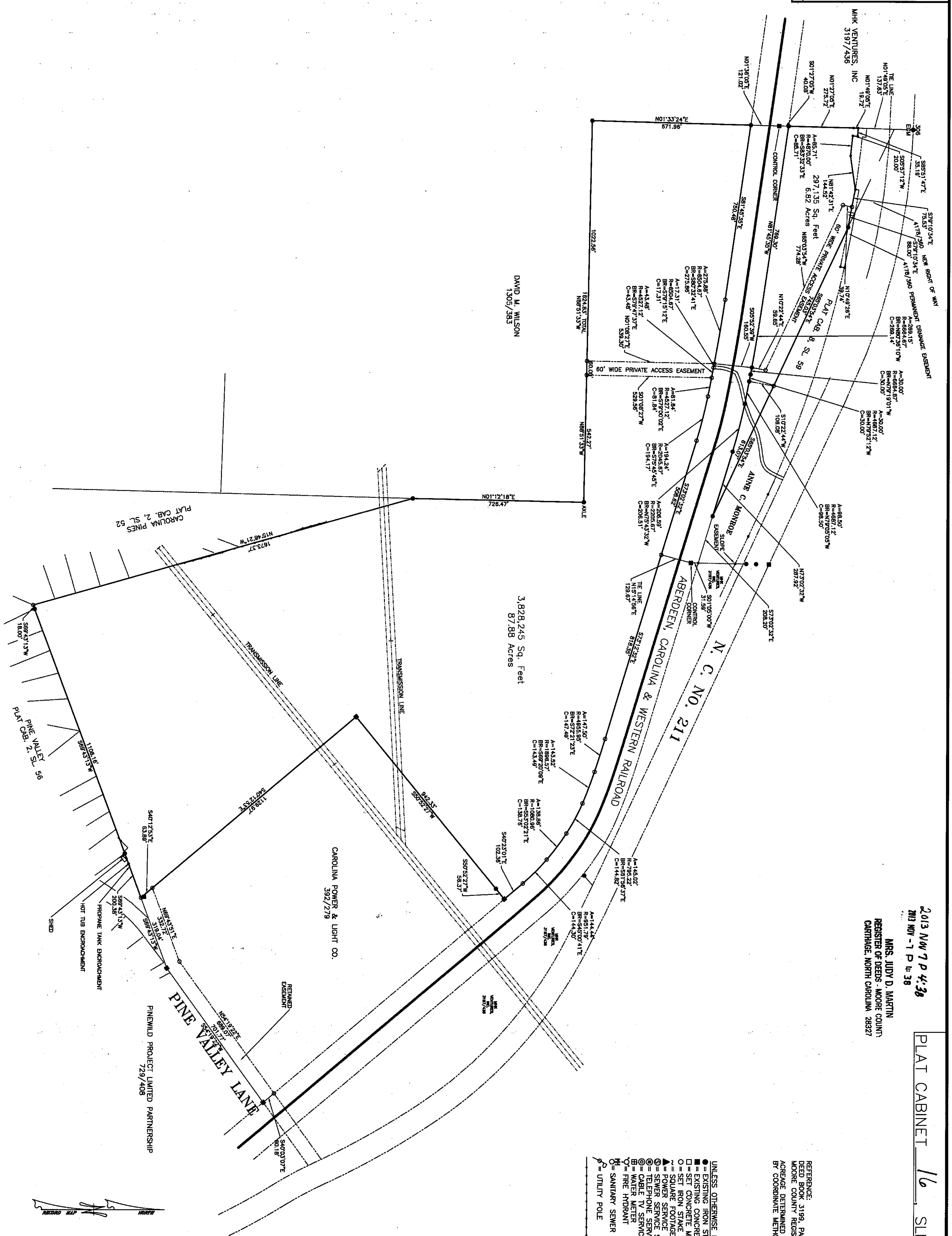


2013 NW 7 P 4:38  
2013 NOV - 1 P 4:38  
MRS. JUDY D. MARTIN  
REGISTER OF DEEDS - MOORE COUNTY  
CAROLINA, NORTH CAROLINA 28327

PLAT CABINET 16, SLIDE 126

REFERENCE:  
DEED BOOK 3199, PAGE 190  
MOORE COUNTY REGISTRY  
ACREAGE DETERMINED  
BY COORDINATE METHOD.

- UNLESS OTHERWISE DENOTED,
- = EXISTING IRON STAKE
  - = EXISTING CONCRETE MONUMENT
  - = SET CONCRETE MONUMENT
  - = SET IRON STAKE
  - ▲ = SQUARE FOOTAGE STUB
  - △ = TRIANGULAR SERVICE STUB
  - ⊙ = TELEPHONE SERVICE STUB
  - ⊗ = CABLE TV SERVICE STUB
  - ⊕ = WATER METER
  - ⊖ = FIRE HYDRANT
  - ⊗ = SANITARY SEWER MANHOLE
  - ⊕ = UTILITY POLE
  - = FENCE



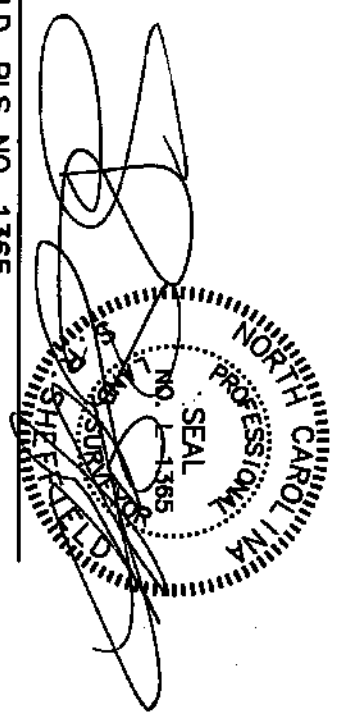
OWNER:  
MCDONALD FAMILY FARMS, LLC  
P. O. BOX 349  
WEST END, NC 27376

SUPPLICANT:  
STEPHEN R. SHEPHERD & ASSOCIATES, P. A.  
2233 N. PINEHURST STREET  
ABERDEEN, N. C. 28315  
910-255-0420

I, S. R. SHEPHERD, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION SHOWN, THAT THE RATIO OF PRECISION AS CALCULATED IS 1:200,000, THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. FURTHER, THAT THE SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

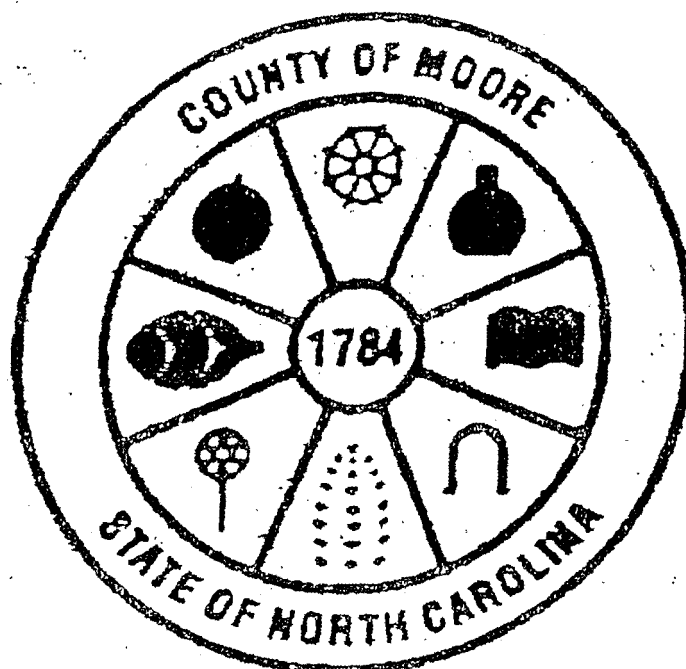
WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 4TH DAY OF NOVEMBER, 2013, A.D.

S. R. SHEPHERD, PLS NO. 1365  
CORPORATE LICENSE NO. C-1987



SURVEY FOR  
MCDONALD FAMILY FARMS, LLC  
87.88 & 6.82 ACRE TRACTS  
MINERAL SPRINGS TOWNSHIP, MOORE COUNTY,  
NORTH CAROLINA  
NOVEMBER 4, 2013 - SCALE 1"=200'  
STEPHEN R. SHEPHERD & ASSOCIATES, P.A.  
1680 NC HWY. 5, SUITE NO. 170  
ABERDEEN, NORTH CAROLINA

0 200 400 600



Judy D. Martin  
 Register of Deeds  
 Moore County, North Carolina

PLAT

FOR REGISTRATION REGISTER OF DEEDS  
 Judy D. Martin  
 Moore County, NC  
 November 07, 2013 04:38:08 PM  
 Book 16 Page 126-126  
 FEE: \$21.00  
 INSTRUMENT # 2013017576



INSTRUMENT # 2013017576



For Registration Register of Deeds

Judy D. Martin

Moore County, NC

Electronically Recorded

February 1, 2018 8:30:44 AM

Book: 4931 Page: 433 - 434 #Pages: 2

Fee: \$26.00 NC Rev Stamp: \$220.00

Instrument # 2018001250

**GENERAL WARRANTY DEED**

Excise Tax \$220.00

LRK

DRAFTED BY:  
D.T. SCARBOROUGH III, ATTORNEY AT LAW  
NO TITLE EXAMINATION  
PO BOX 1669  
PINEHURST, NC 28374

**BRIEF DESCRIPTION FOR INDEX**

6.82 Acres PC 16 SI 126

**THIS GENERAL WARRANTY DEED** made this 26th day of January, 2018, by and between, **McDonald Family Farms, LLC, a NC limited liability company** (hereafter "Grantor"), with a mailing address of PO Box 349, West End, NC 27376, and **Longleaf Pines Storage, LLC, a NC Limited Liability Company,** (hereafter "Grantee"), with a mailing address of PO Box 1028, Pinehurst, NC 28370.

**WITNESSETH:**

The Grantor, for valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot or parcel (referred to in the singular, whether one or more) of land situated in Mineral Springs Township, Moore County, North Carolina and more particularly described as follows:

**6.82 Acres (297,135 Sq. Feet), more or less, as shown on Survey for McDonald Family Farms,** recorded in the Office of the Register of Deeds in Plat Cabinet 16, Slide 126.

**RESERVING, HOWEVER,** unto Grantor, a non-exclusive easement of ingress, regress and egress over, through and upon the 60' Wide Private Access Easement noted on the plat for the benefit of the remaining 87.88 Acre tract noted thereon, including the right to grant further non-exclusive easements to grantees or the 87.88 Acre parcel or any portion thereof, and the Grantee's recognition of prior unrecorded access easements noted below.

This conveyance is made subject to: ad valorem taxes for the current year (prorated to the date of settlement); utility easements of record affecting the parcel; unrecorded Driveway Easement and Right-Of-Way Agreement with Pine Valley Solar Farm, LLC, unrecorded Easement and Right-Away-Of-Way Agreement with David M and Emma Wilson Family, and unrecorded Easement and

submitted electronically by "Clarke, Phifer, Vaughn, Brenner & McNeill, PLLC"  
in compliance with North Carolina statutes governing recordable documents  
and the terms of the submitter agreement with the Moore County Register of Deeds.

Right-Of-Way Agreement with Hammill Construction Company, Inc., copies of which have previously been provided Grantee.

The property hereinabove described was acquired by Grantor by instrument recorded in Book 2992 Page 300 as re-recorded in Book 3199 Page 190.

**TO HAVE AND TO HOLD** the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whomsoever except for the exceptions noted herein, however, specifically excluding any and all warranties for any of the property that may lie within the Railroad R/W as noted on the plat.

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

**IN WITNESS WHEREOF**, the Grantor has caused this instrument to be signed, the day and year first above written.

McDonald Family Farms, LLC

*Angus A. McDonald, Jr.*

(SEAL)

By: Angus A. McDonald, Jr., General Manager,

**NOTARY'S ACKNOWLEDGMENT**

NORTH CAROLINA MOORE COUNTY

I, Notary Public of the County and State aforesaid, certify that Angus A. McDonald, Jr., personally appeared before me this day and acknowledged the execution of the foregoing instrument for the purposes and in the capacity expressed. Witness my hand and official stamp or seal, this 29 day of January, 2018.

My commission expires: 1-18-2020

*[Signature]*  
Notary Public

